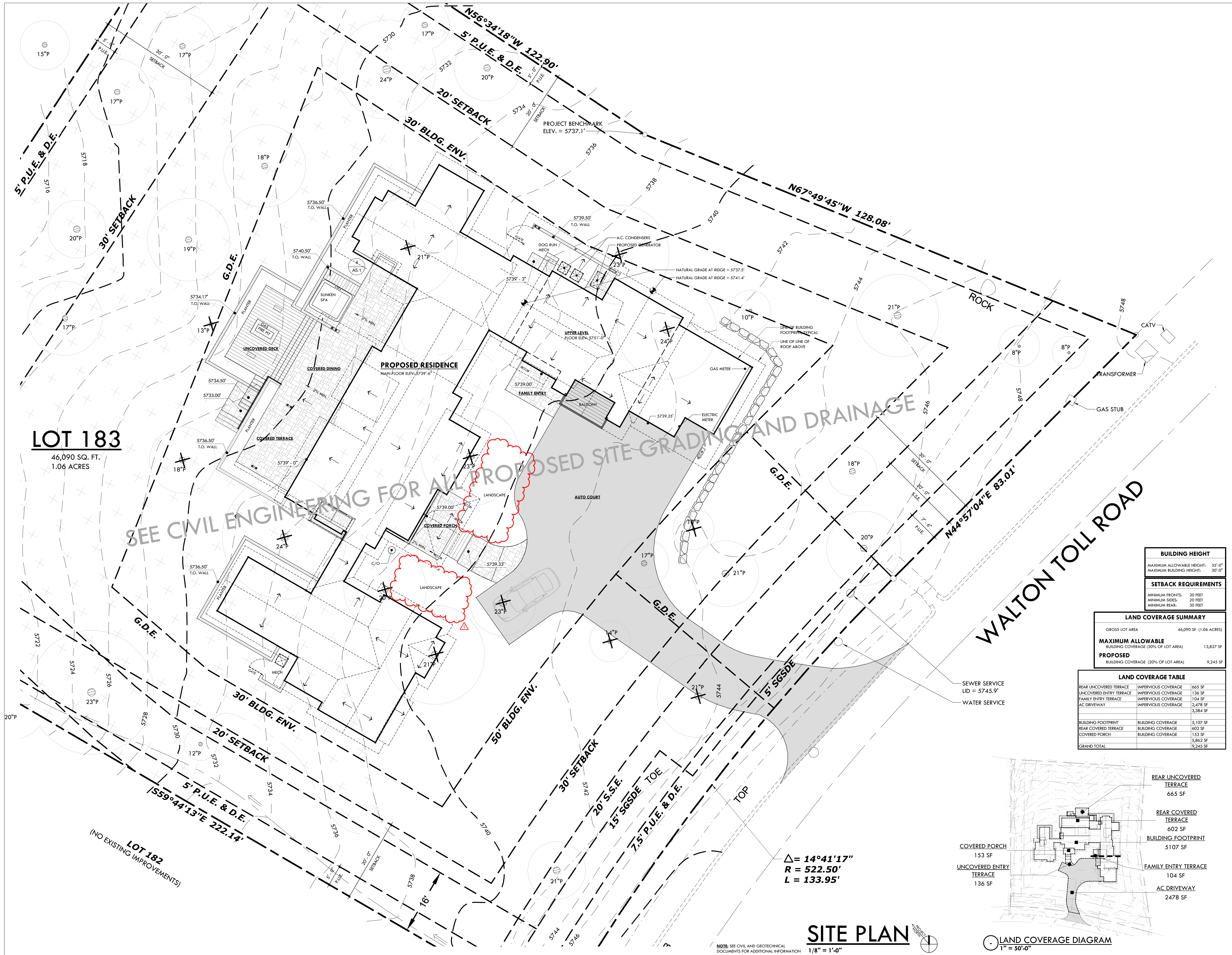




LOT 183

46,090 SQ. FT.
1.06 ACRES

SEE CIVIL ENGINEERING FOR ALL PROPOSED SITE GRADING AND DRAINAGE

BUILDING HEIGHT	
MAXIMUM ALLOWABLE HEIGHT:	35'-0"
MAXIMUM BUILDING HEIGHT:	30'-0"

SETBACK REQUIREMENTS	
MINIMUM FRONTS:	30 FEET
MINIMUM SIDES:	20 FEET
MINIMUM REAR:	30 FEET

LAND COVERAGE SUMMARY	
GROSS LOT AREA	46,090 SF (1.06 ACRES)
MAXIMUM ALLOWABLE BUILDING COVERAGE (30% OF LOT AREA)	13,827 SF
PROPOSED BUILDING COVERAGE (20% OF LOT AREA)	9,245 SF

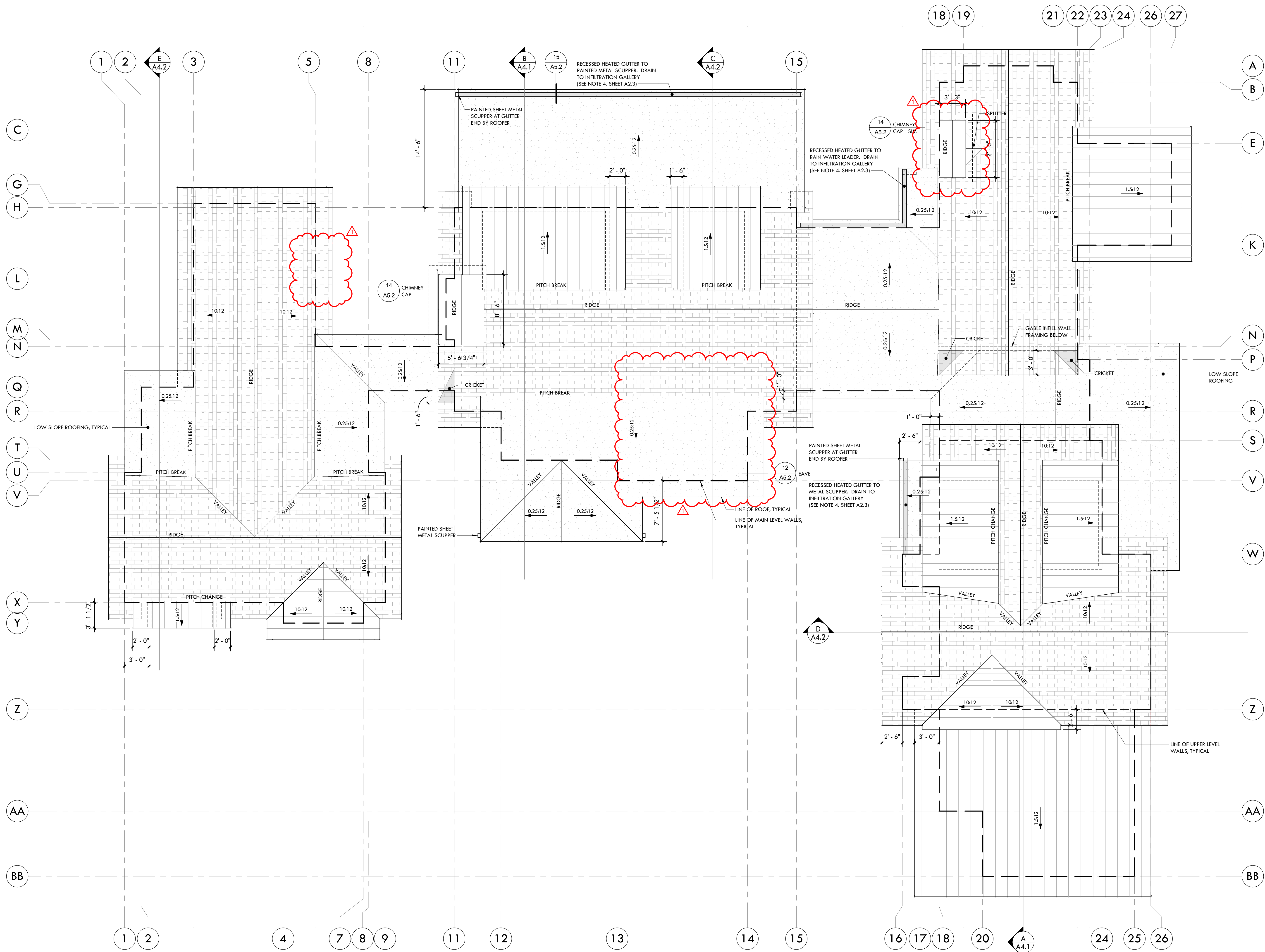
LAND COVERAGE TABLE	
REAR UNCOVERED TERRACE	IMPERVIOUS COVERAGE 665 SF
UNCOVERED ENTRY TERRACE	IMPERVIOUS COVERAGE 136 SF
FAMILY ENTRY TERRACE	IMPERVIOUS COVERAGE 104 SF
AC DRIVEWAY	IMPERVIOUS COVERAGE 2,478 SF
BUILDING FOOTPRINT	BUILDING COVERAGE 5,107 SF
REAR COVERED TERRACE	BUILDING COVERAGE 602 SF
COVERED PORCH	BUILDING COVERAGE 153 SF
GRAND TOTAL	5,862 SF
	9,245 SF

COVERED PORCH	153 SF	REAR UNCOVERED TERRACE	665 SF
UNCOVERED ENTRY TERRACE	136 SF	REAR COVERED TERRACE	602 SF
		BUILDING FOOTPRINT	5107 SF
		FAMILY ENTRY TERRACE	104 SF
		AC DRIVEWAY	2478 SF

SITE PLAN

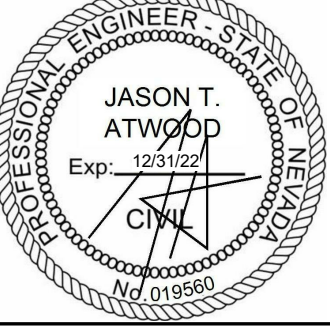
1/8" = 1'-0"

LAND COVERAGE DIAGRAM
1" = 50'-0"



ROOF NOTES:

- 1.) INSTALL ICE BARRIER UNDERLAYMENT AS REQUIRED BY CODE AND LOCAL JURISDICTION. THIS SHALL BE IN ADDITION TO ANY UNDERLAYMENT REQUIRED BY THE ROOFING. INSTALL ROOFING UNDERLAYMENT AS REQUIRED BY ROOFING MANUFACTURER.
- 2.) ROOF OVERHANGS ARE 24", U.O.N.
- 3.) CONTRACTOR TO REVIEW NEED FOR ENGINEERED SNOW RETENTION, SCREENED GUTTERS AND HEAT TAPE (BY OTHERS) WITH OWNERS. CONTRACT SANSBOX FOR DESIGN REVIEW PROCESSING IF APPLICABLE. WHEN PROVIDED, SCREENED GUTTERS AND DOWNPOUTS SHALL HAVE HEAT TAPE OR SHM TO BELOW FROST DEPTH. SEE SITE PLAN OR CIVIL FOR DRAINAGE / TERMINATIONS.
- 4.) LOW SLOPE ROOFS SHALL HAVE HEAT AS NEEDED WITH HEATED PATH TO DRAIN. CONTRACTOR SHALL VERIFY WITH ROOFING SUBCONTRACTOR.
- 5.) CONTRACTOR TO VERIFY SUITABILITY OF ROOF MATERIALS FOR ROOF SLOPES INDICATED AND INSTALL UNDERLAYMENT AS REQUIRED BY MANUFACTURER.
- 6.) PROVIDE PAINTED METAL FLASHING AT VALLEYS AND ROOF TRANSITIONS. INSTALL AS RECOMMENDED BY ROOFING MANUFACTURER. PROVIDE PAINTED METAL RIDGE CAPS AND HIP CAPS, TYP.
- 7.) SKYLIGHTS TO BE INSTALLED AT AS LOW A PROFILE AS POSSIBLE PER MARTIS CAMP DESIGN REVIEW GUIDELINES. SKYLIGHTS MUST HAVE TINTED, FLAT GLAZING. THE FRAMES SHALL COMPLEMENT THE HUE OF THE ROOFING TO PROVIDE THE LEAST CONTRAST POSSIBLE.
- 8.) CONTRACTOR TO COORDINATE WITH SKYLIGHT MANUFACTURER TO PROVIDE SNOW SPLITTER OR OTHER SNOW MANAGEMENT STRATEGY FOR SKYLIGHT INSTALLATION AT LOW SLOP STANDING SEAM METAL ROOFING AS REQUIRED.
- 9.) PROVIDE PAINTED METAL CAP FLASHING AT ALL EXPOSED BEAM ENDS AND OUTLOOKERS. FLASHING SHALL EXTEND 2.5" AT FRONT AND SIDES AND SHALL BE PROVIDED WITH A DRIP EDGE. SEE DETAIL 4.



8/16/2022 12:47:05

KAVAYIOTIDIS - CCT 183
CLEAR CREEK 183
156 WALTON TOLL ROAD
CITY, STATE
COUNTY
APN: 1419-04-002-021

CLIENT: KAVAYIOTIDIS
JOB #: 2108
DRAWING ISSUE DATE:
02/25/2022
DRAWING STATUS:
DOUGLAS COUNTY SYMBIAL

REVISIONS
1 8.16.2022 Owner Revisions

ROOF PLAN

SHEET:

A2.3

DRAWING SCALE: As indicated

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1.- CONTRACTOR TO PROVIDE MATERIAL SAMPLE MOCK-UP FOR REVIEW WITH SANDBOX PRIOR TO CLEAR CREEK ARCHITECTURE REVIEW. CLEAR CREEK REQUIRES A COMPREHENSIVE MOCK-UP OF EXTERIOR COLORS AND MATERIALS FOR REVIEW AND APPROVAL. THE MOCK-UP SHALL BE APPROVED BY SANDBOX AND THE OWNER PRIOR TO INSTALLING EXTERIOR MATERIALS.

2.) GLBS SHALL BE PREMIUM GRADE SQUARE EDGE SUITABLE FOR EXTERIOR USE AS APPLICABLE.

9 **STONE VENEER:** MONTANA LEDGESTONE, MIXED JUMBO SQUARES AND RECTANGLES, AS SUPPLIED BY SIERRA STONE SUPPLY.

13 **LOW SLOPE ROOFING:** CLASS "A" TORCHDOWN WITH COLOR MATCHED BALLAST.

14 **EXPOSED STRUCTURAL STEEL:** COLOR: MATTE BLACK

15 **DOOR / WINDOW / ACCENT TRIM:** 2x WESTERN RED CEDAR.
STAIN: MONTANA TIMBER PRODUCTS "ARTISAN ASH WITH RAKED TEXTURE"

16 **COMPOSITE SHINGLE ROOFING:** CERTAINTED LANDMARK COMPOSITE SHINGLES
COLOR: MOIRE BLACK

17 **STEEL SIDING:** 22 ga PAINTED METAL PANEL WITH HEMMED SEAMS
FINISH: MATTE BLACK

BOARD-FORMED CONCRETE: FORMED WITH 2x6 DF BOARDS. RIP FORM BOARD TO 3/4x6 AND SANDBLAST ON INTERIOR FACE OF FORM BOARD. LINE FORM WITH 1/2" SHADOW GAP.

2 **VERTICAL WOOD SIDING:** WESTERN RED CEDAR 1x8 SHIPLAP SQUARE EDGE SIDING WITH 1/4"-1/2" SHADOW GAP.
STAIN: MONTANA TIMBER PRODUCTS "ARTISAN ASH WITH RAKED TEXTURE"

3 **WOOD BEAMS:** ROUGH-SAWN DOUGLAS FIR TIMBER AND GLBS
STAIN: GRAY TO MATCH SIDING

4 **FASCIA:** 2x WOOD FASCIA - WESTERN RED CEDAR.
STAIN: MONTANA TIMBER PRODUCTS "ARTISAN ASH WITH RAKED TEXTURE"

5 **SHINGLE MOLD:** 2x WOOD SHINGLE MOLD CLAD WITH 24 ga METAL PANEL
HEMMED SEAMS, FINISH: MATTE BLACK

6 **WINDOWS:** ALUMINUM CLAD WOOD WINDOWS WITH MINIMUM 1" WIDTH
SIMULATED DIVIDED LIGHT BY SIERRA PACIFIC.
COLOR: "TW 061"

7 **DOORS:** ALUMINUM CLAD WOOD DOORS BY SIERRA PACIFIC
COLOR: "TW BLACK 061"

8 GARAGE DOORS: SITE FINISHED. WESTERN RED CEDAR. FIELD SIDED.
STAIN: MONTANA TIMBER PRODUCTS "ARTISAN ASH WITH RAKED TEXTURE"

10 **METAL ROOFING:** STANDING SEAM 18" PANELS - 24 ga. COLOR: MATTE BLACK (METAL SALES PRE-PAINTED OR EQUIVALENT)

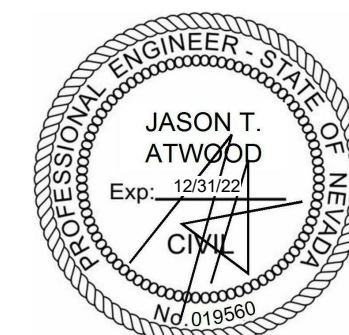
11 **EXPOSED METAL FLASHINGS, TRIM, ETC.:** COLOR: MATTE BLACK
(METAL SALES PRE-PAINTED OR EQUIVALENT)

12 TERRACE PAVERS: BELGARD LAFTT RUSTIC CONCRETE PAVER;
COLOR: VICTORIAN


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0'$$


po box 2774 1478 4th street minden, nv 89423
530.583.8822



8/16/2022 12:47:29

KAVAYIOTIDIS - CCT 18 8, 1997

CLEAR CREEK 183

156 WALTON TOLL ROAD
CITY, STATE
COUNTY

APN: 1419-04-002-021

CLIENT: ASHLEY AND KOSTAS KAVAYIOTIDIS

#: KAVAYI 2108

DRAWING ISSUE DATE:

05/25/2022

DRAWING STATUS: DOUGLAS COUNTY SYMBITTAL

REVISIONS

1 8.16.2022 Owner Revisions

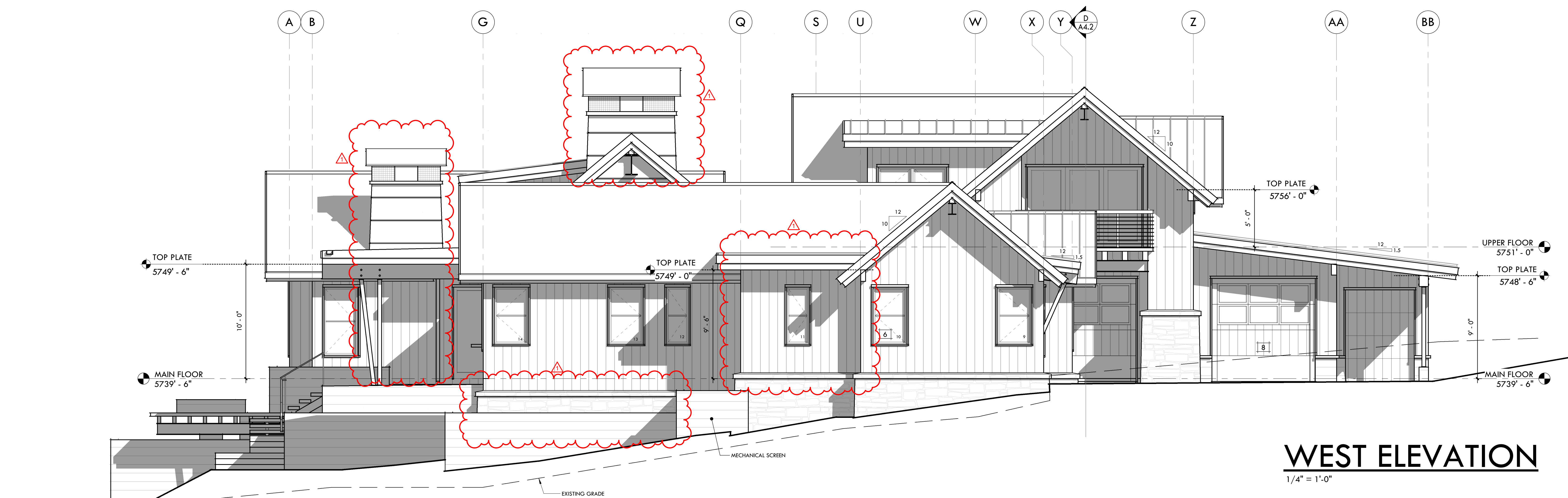
EXTERIOR ELEVATIONS

HEET:

A3.1

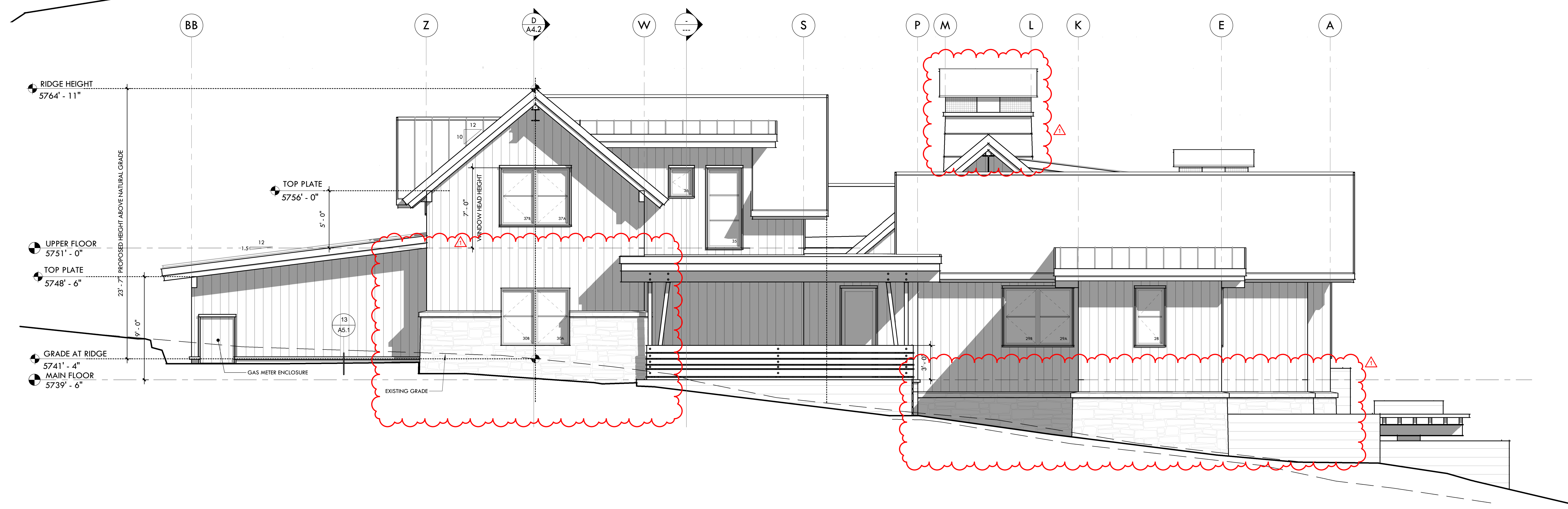
DRAWING SCALE: $1/4" = 1'-0"$

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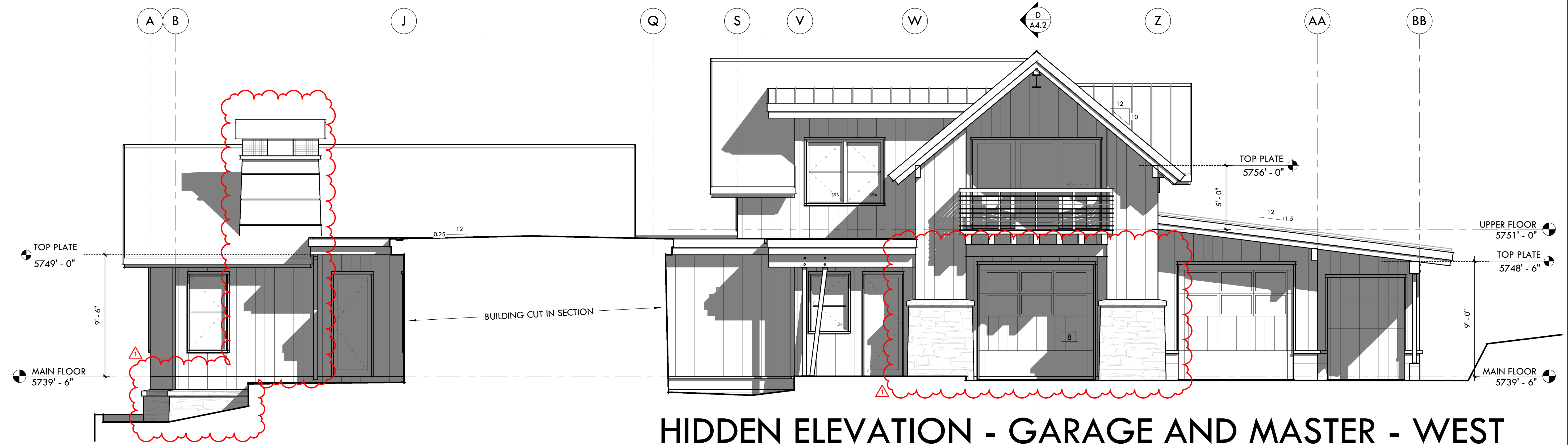
WEST ELEVATION

1/4" = 1'-0"



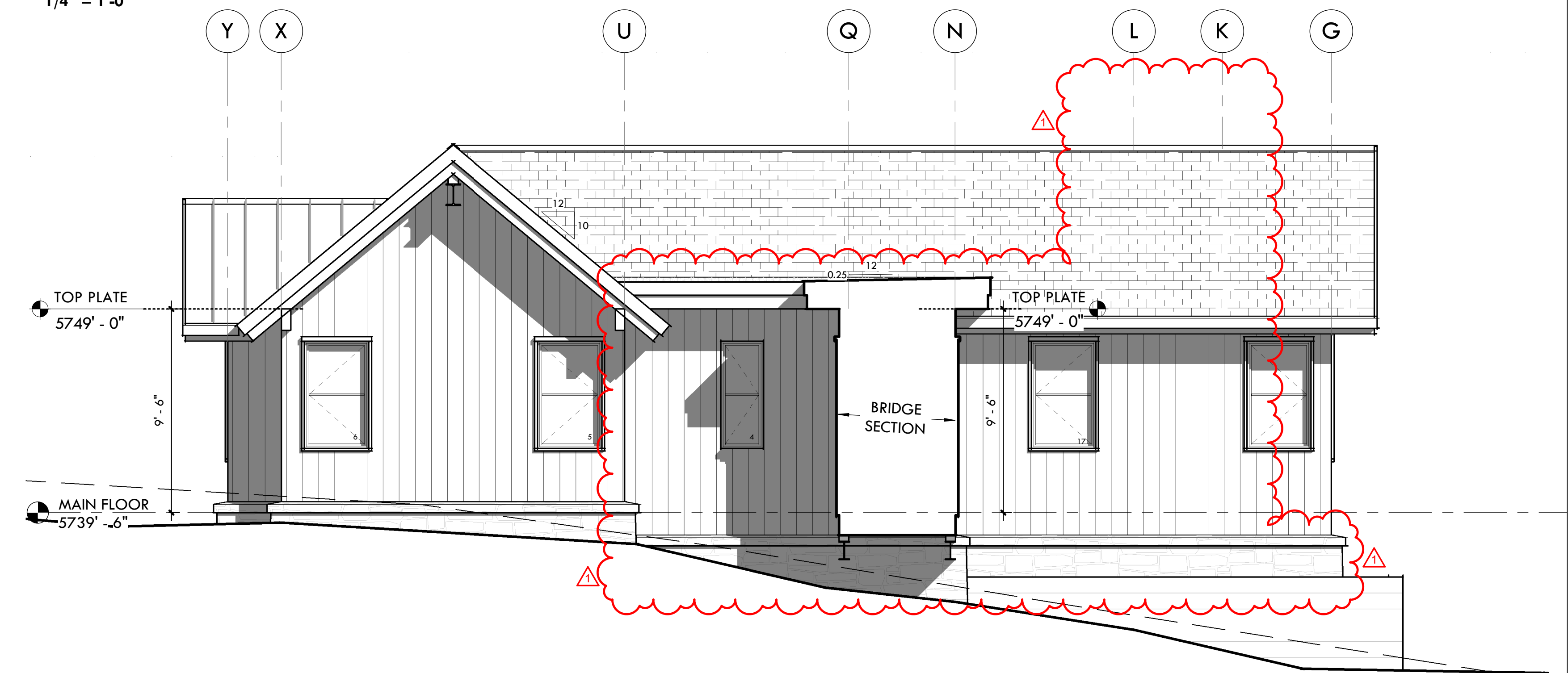
EAST ELEVATION

1/4" = 1'-0"



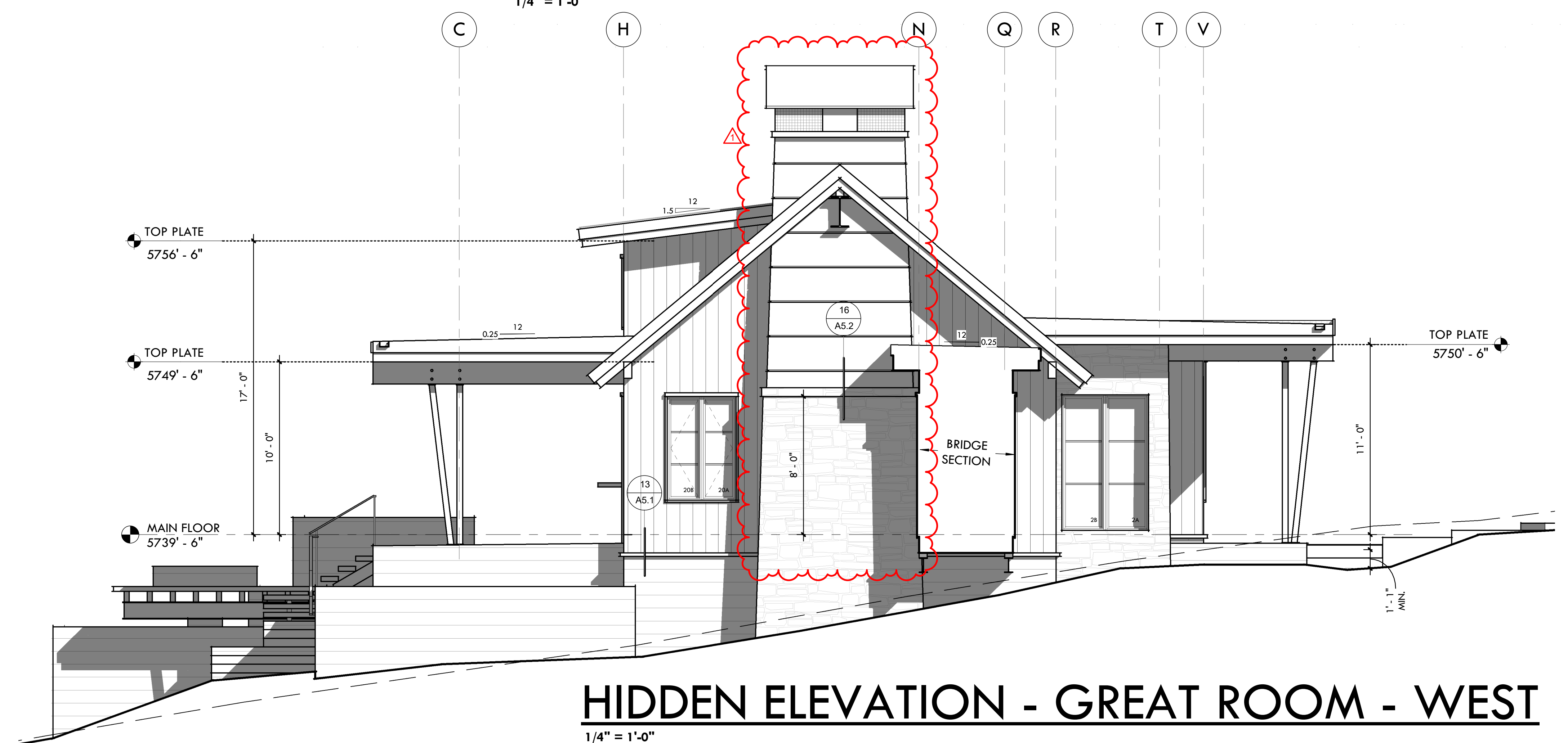
HIDDEN ELEVATION - GARAGE AND MASTER - WEST

1/4" = 1'-0"



HIDDEN ELEVATION - BEDROOM WING - EAST

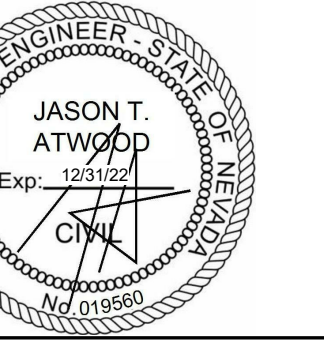
1/4" = 1'-0"



HIDDEN ELEVATION - GREAT ROOM - WEST

1/4" = 1'-0"

SANDBOX



8/16/2022 12:48:37

KAVAYIOTIDIS - CCT 183

CLEAR CREEK 183

156 WALTON TOLL ROAD

CITY, STATE

COUNTY

APL: 1419-04-002-021

CLIENT: ASHLEY AND KOSTAS

JOB #: 2108

DRAWING ISSUE DATE:

02/25/2022

DRAWING STATUS:

DOUGLAS COUNTY SYRACUSE

REVISIONS

1 8.16.2022 Owner Revisions

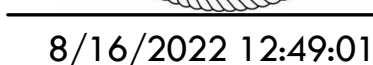
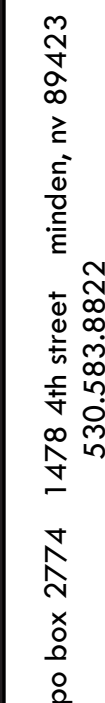
EXTERIOR ELEVATIONS

SHEET:

A3.3

DRAWING SCALE: 1/4" = 1'-0"

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8/16/2022 12:49:01

KAVAYIOTIDIS - CCT 18^{PM}
CLEAR CREEK 183
156 WALTON TOLL ROAD
CITY, STATE
COUNTY

CLIENT: ASHLEY AND KOSTAS
KAVAYIOTIDIS
JOB #: 2108

DRAWING ISSUE DATE:
05/25/2022

DRAWING STATUS:

REVISIONS

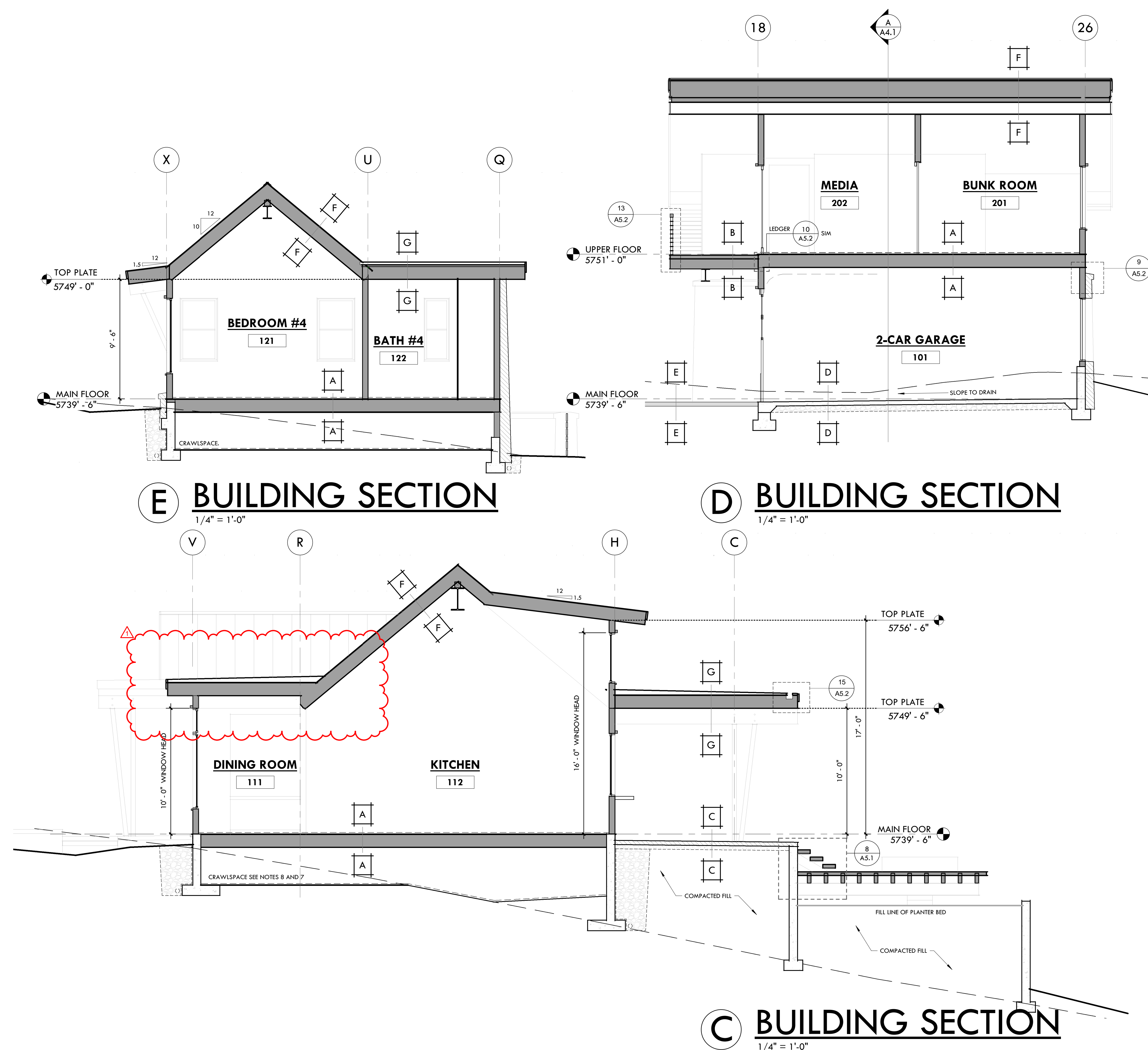
1 8.16.2022 Owner Revisions

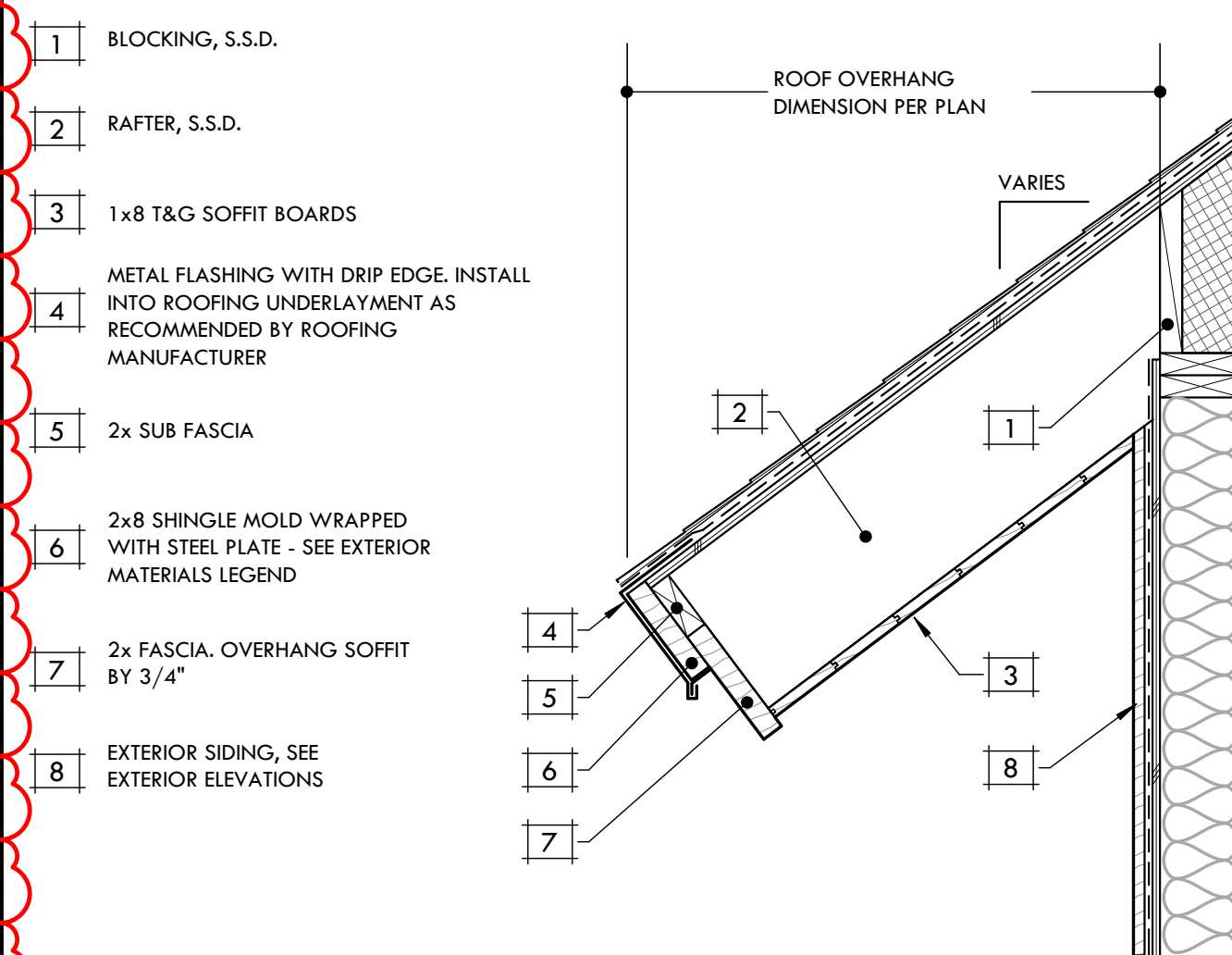
BUILDING SECTIONS

SHEET: 133HS

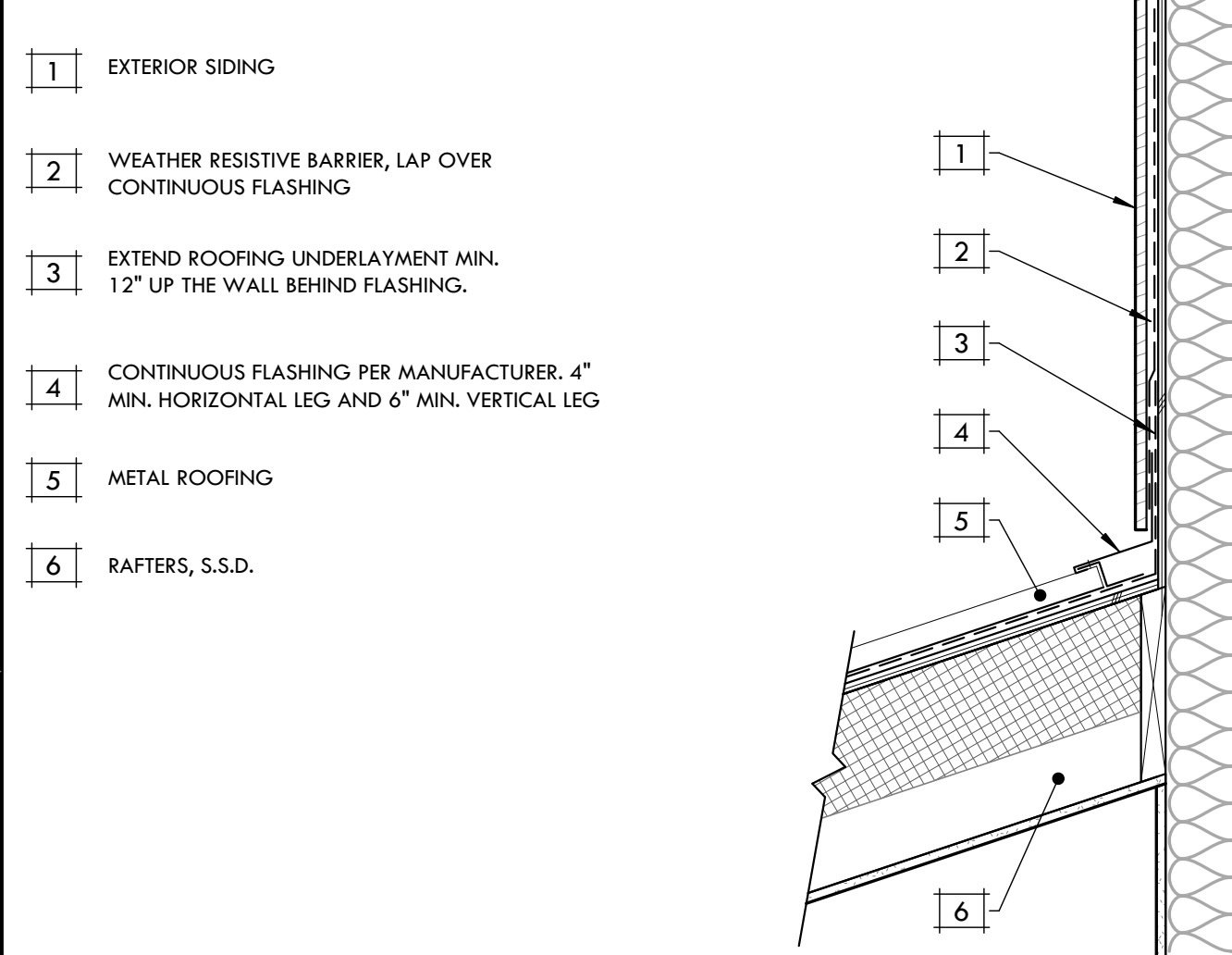
A4.2

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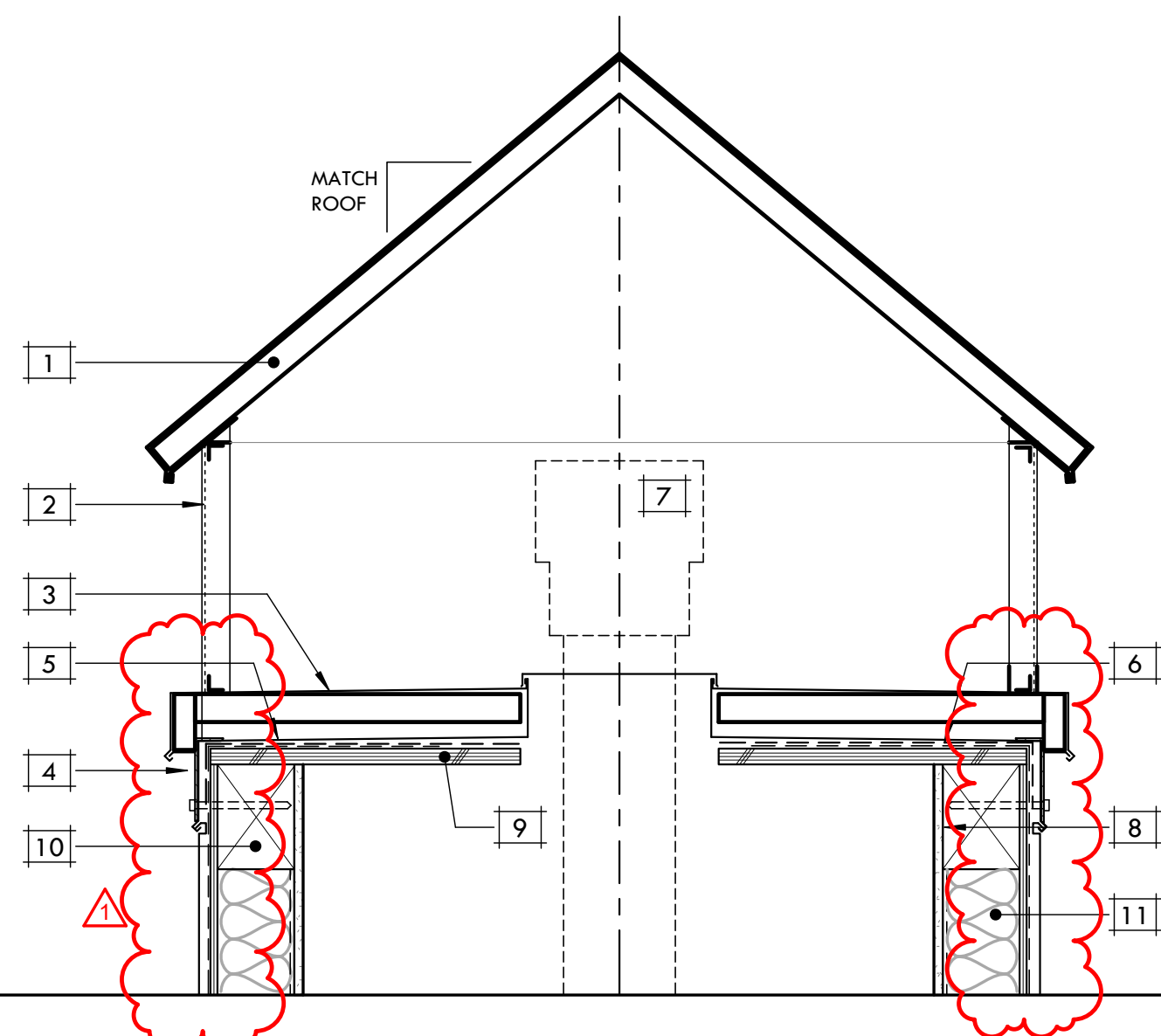




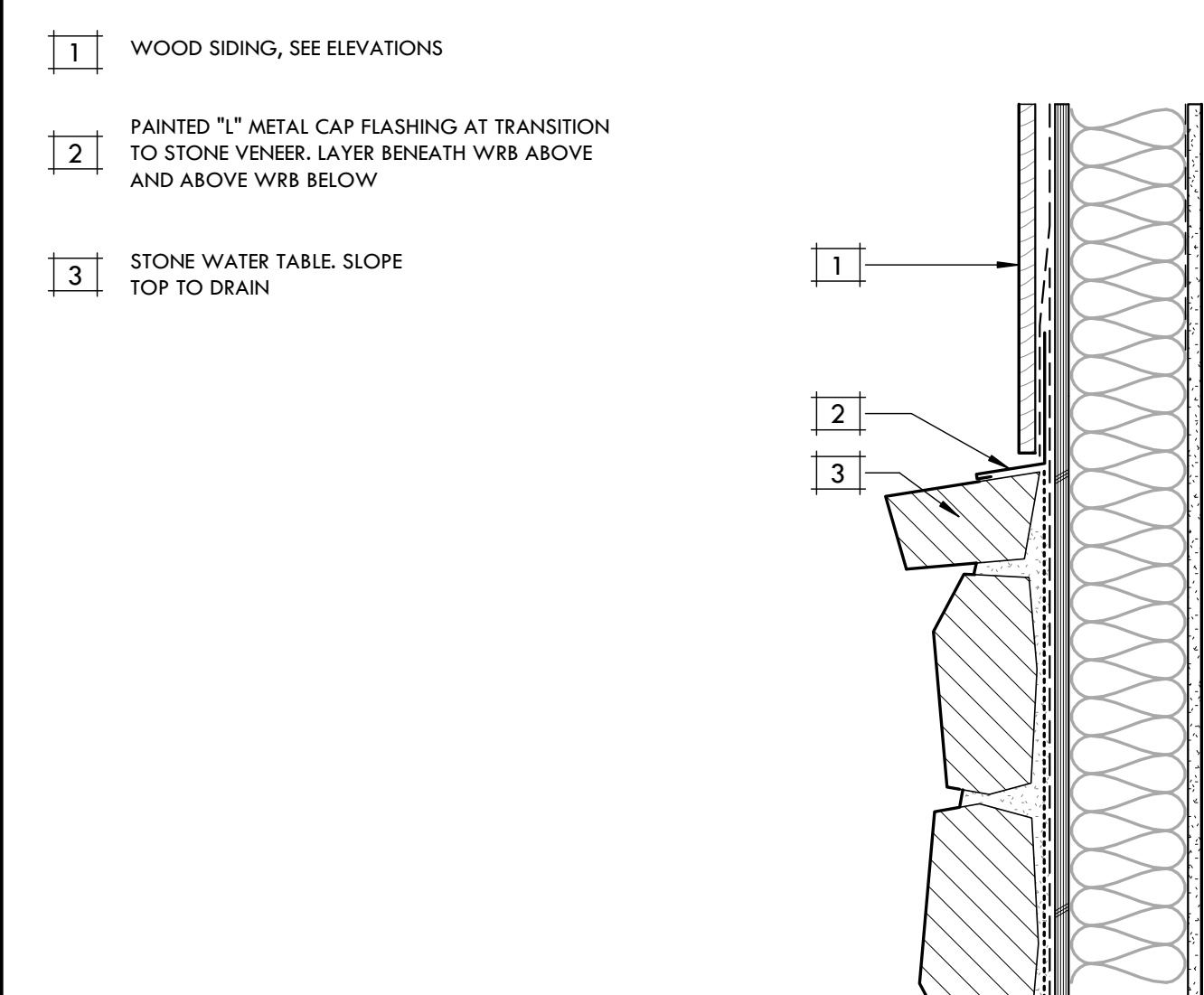
12 TYPICAL EAVE DETAIL
1" = 1'-0"



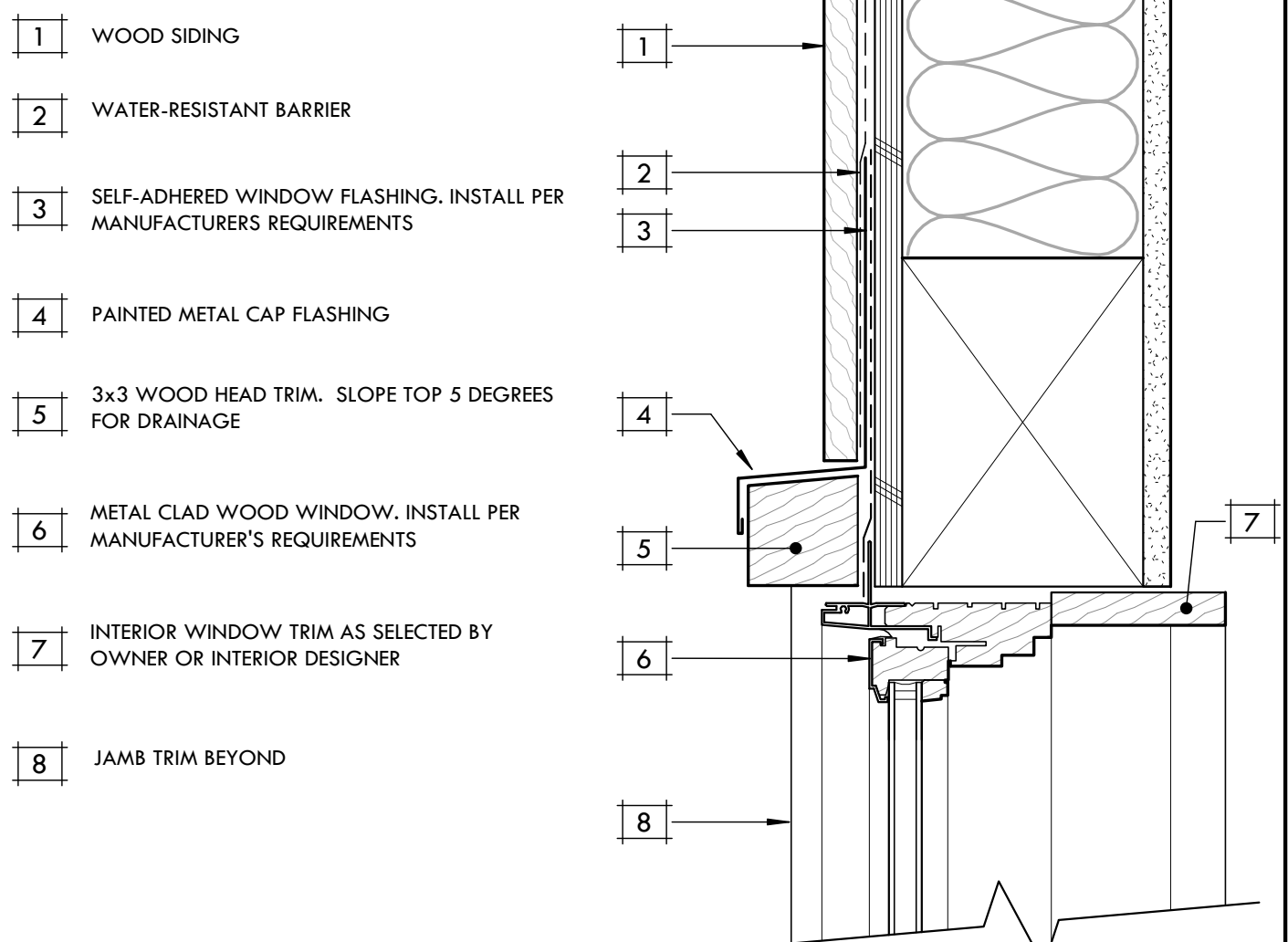
11 TYPICAL ROOF TO WALL FLASHING
1" = 1'-0"



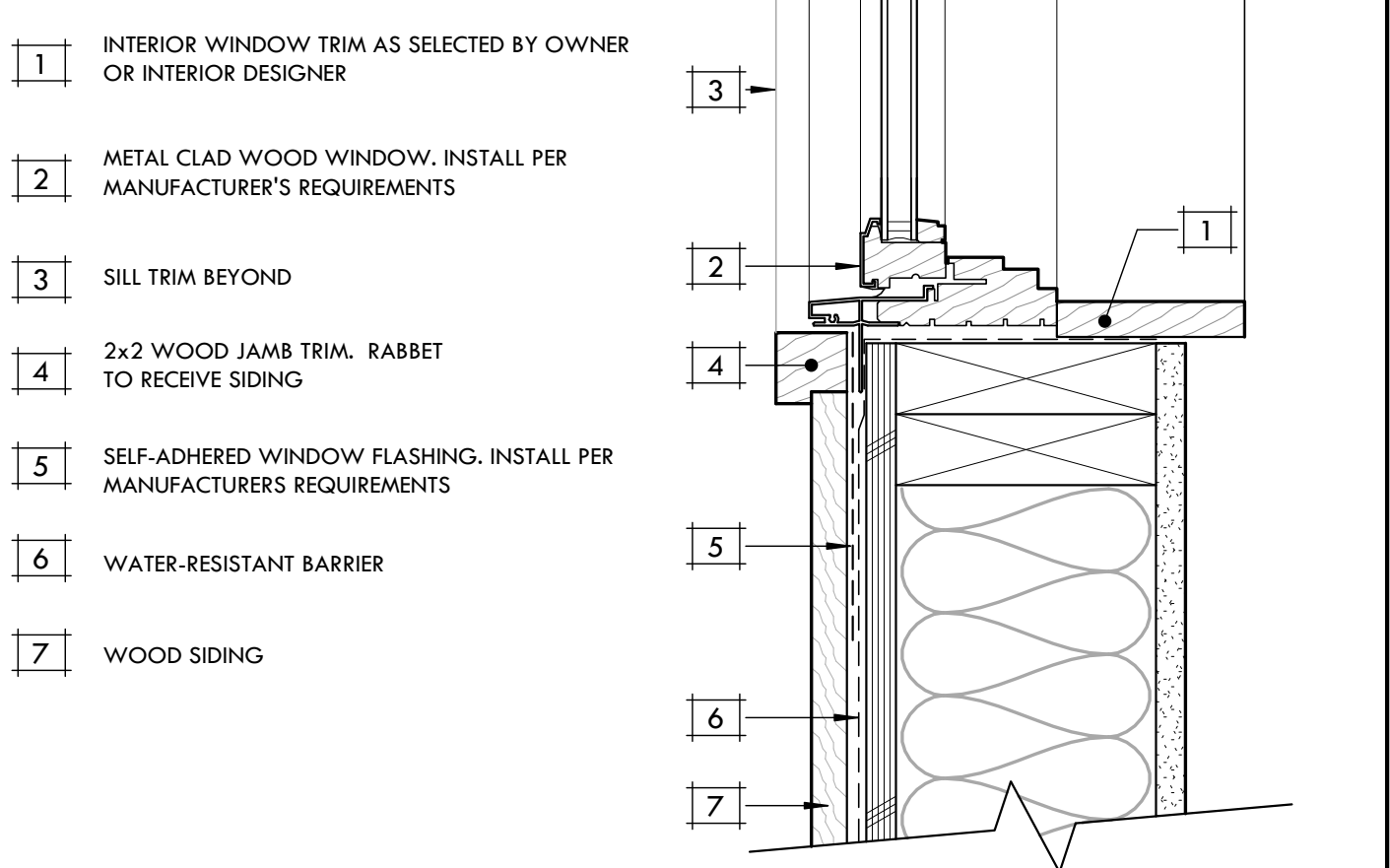
14 CHIMNEY CAP DETAIL
1" = 1'-0"



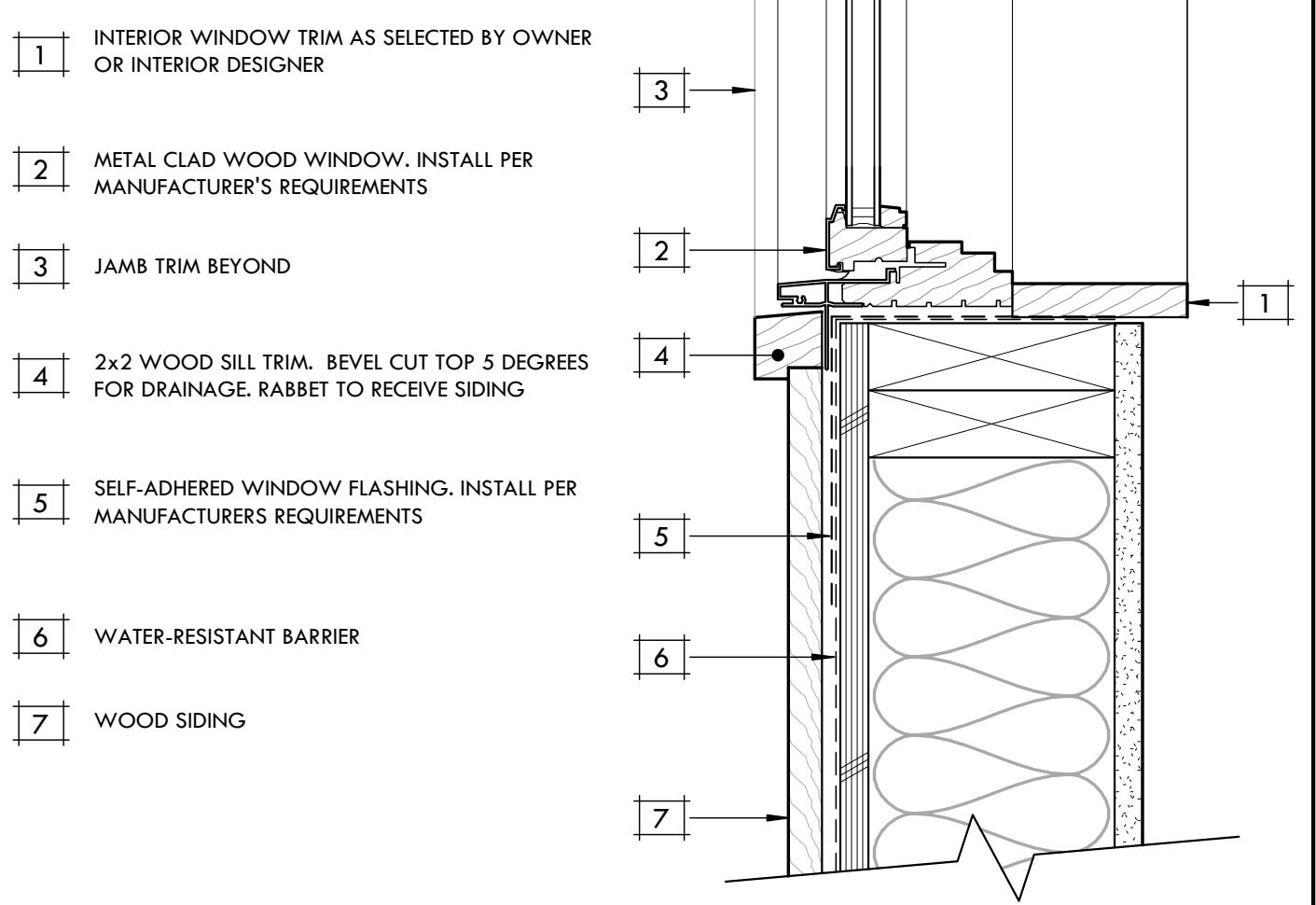
9 WOOD SIDING TO STONE VENEER
1 1/2" = 1'-0"



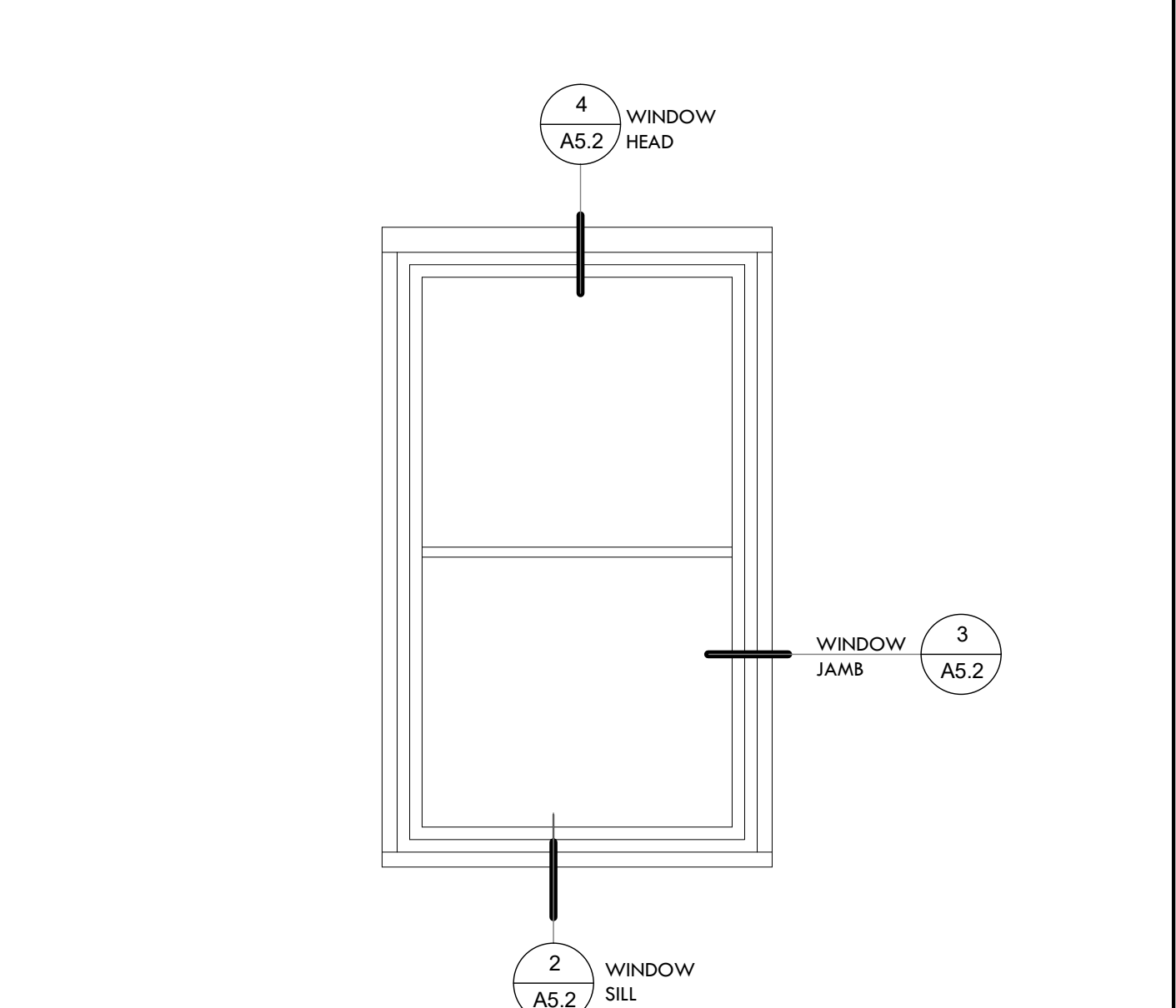
4 TYPICAL WINDOW HEAD AT WOOD SIDING
3" = 1'-0"



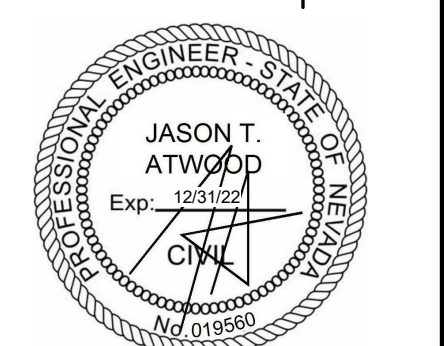
3 TYPICAL WINDOW JAMB AT WOOD SIDING
3" = 1'-0"



2 TYPICAL WINDOW SILL AT WOOD SIDING
3" = 1'-0"



1 WINDOW TRIM LEGEND
3/4" = 1'-0"



CLIENT: KAVAYOTIDS
JOB #: 2108
DRAWING ISSUE DATE: 05/25/22
DRAWING STATUS:
DOUGLAS COUNTY SYBMITAL

DETAILS

DRAWING SCALE:	As indicated
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A5.2

SHEET:

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