

PROJECT NORTH

NORTH SYMBOL

TRUE NORTH

DETAIL REFERENCE

DETAIL NUMBER

SHEET NUMBER

BUILDING OR WALL SECTION REFERENCE

SECTION NUMBER

SHEET NUMBER

EXTERIOR OR INTERIOR ELEVATIONS REFERENCE

WALL ELEVATION NUMBER

GRID NUMBER

SHEET NUMBER

ROOM DESIGNATION

ROOM TITLE

FLOOR MATERIAL

CEILING HEIGHT

DIMENSION POINT TO CENTERLINE OF OBJECT

DIMENSION POINT TO FACE OF MATERIAL

COLUMN REFERENCE

KEY NOTE

MATCH LINE

LEVEL LINE, WORK POINT, CONTROL POINT OR DATUM POINT

REVISION INDICATOR

SEE INDIVIDUAL SHEETS FOR ADDITIONAL SHEET SPECIFIC SYMBOLS/LEGENDS NOT INDICATED HERE

A0.1

MECHANICAL

- 1.) DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAUGE (0.019 INCH; 0.48 MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. **2018 IRC 302.5.2; IRC 406.3.2.2.**
- 2.) APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN AN APPROVED MANNER. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE SPECIFICATIONS IN THE BUILDING CODE. APPLIANCES SHALL BE SECURED AND STRAPPING SHALL BE DESIGNED TO RESIST A HORIZONTAL FORCE EQUAL TO ONE-THIRD OF THE OPERATING WEIGHT OF THE WATER HEATER STORAGE TANK, ACTING IN ANY HORIZONTAL DIRECTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER AND LOWER 15 OF THE APPLIANCES VERTICAL DIMENSIONS AT THE LOWER POINT, THE STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS. (THIS CRITERIA WILL BE ENFORCED **2018 IRC M1307.2**; **2018 UMC 303.4** (STEEL BRACES REQUIRED; NOT PLUMBERS TAP); EQUIPMENT AND APPLIANCES INSTALLED AT PLUMBING SERVICE SHALL BE SUPPORTED ON A LEVEL CONCRETE SLAB OR OTHER APPROVED MATERIAL, EXTENDING NOT LESS THAN 3" ABOVE THE ADJOINING GRADE OR SHALL BE SUSPENDED NOT LESS THAN 6" INCHES ABOVE ADJOINING GRADE. **2018 IRC M1305.1.3.1**
- 3.) APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES. **2018 IRC M1307.3**
- 4.) APPLIANCES, CONTROL DEVICES, HEAT EXCHANGERS AND HVAC SYSTEM COMPONENTS THAT UTILIZE ENERGY SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT DISABLING THE FUNCTION OF A FIRE-RESISTANCE-RATED ASSEMBLY OR REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, VENTING SYSTEMS OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE. DRAINAGE INSPECTED, SERVED, REPAIRED OR REPLACED, A LEVEL WORKING SPACE NOT LESS THAN 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. **2018 UMC 304.1**
- 5.) ATTICS AND UNDERFLOOR SPACES CONTAINING A WATER HEATER SHALL BE PROVIDED WITH AN OPENING AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE WATER HEATER. THE PASSAGEWAY SHALL BE NOT LESS THAN 30 INCHES IN HEIGHT AND 22 INCHES IN WIDTH AND NOT MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE WATER HEATER. THE PASSAGEWAY SHALL HAVE CONTINUOUS SLOPED FLOORING NOT LESS THAN 2 INCHES IN WIDTH, A LEVEL SERVICE SPACE NOT LESS THAN 30 INCHES IN LENGTH AND 30 INCHES IN WIDTH SHALL BE PRESENT AT THE FRONT OR SERVICE SIDE OF THE WATER HEATER. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE NOT LESS THAN 20 INCHES BY 30 INCHES WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE WATER HEATER. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. **2018 UMC 304.4**; **UPC 2018 508.4**
- 6.) FURNACES OR BOILERS INSTALLED IN CLOSETS AND ALCOVES SHALL BE LISTED FOR SUCH INSTALLATION. **2018 UMC 303.2** APPLIANCES SHALL NOT BE LOCATED IN SLEEPING ROOMS, BATHROOMS, TOILET ROOMS, STORAGE CLOSETS, OR IN A SPACE THAT PROVIDES ONLY INTO SUCH ROOMS OR SPACES, EXCEPT WHERE THE INSTALLATION COMPLIES WITH **ITEMS ONE THROUGH 5 OF 2018 IRC G2406.2**; **2018 UMC 904.1** ALL COMBUSTION AIR FOR SUCH INSTALLATIONS PER **2018 IRC G2407.5** THROUGH **G2407.9**. ACCESS TO SUCH ENCLOSURE SHALL BE THROUGH LISTED, GASKETED DOOR ASSEMBLY, A LISTED SELF-CLOSING DEVICE. **2018 UMC 904.1.1, 2**
- 7.) CENTRAL HEATING FURNACES AND LOW PRESSURE BOILERS SHALL BE PERMITTED TO BE INSTALLED WITH REDUCED CLEARANCES TO COMBUSTIBLE MATERIAL PROVIDED THAT THE COMBUSTIBLE MATERIAL OR APPLIANCE IS PROTECTED AS DESCRIBED IN TABLE G2409.2 AND SUCH REDUCTION IS ALLOWED BY THE MANUFACTURER'S INSTRUCTIONS. **2018 IRC G2409.4** (200.4)
- 8.) THE TOTAL REQUIRED VOLUME SHALL BE THE SUM OF THE REQUIRED CALCULATED FOR ALL APPLIANCES LOCATED WITHIN THE SPACE. **2018 IRC 2407.4** THE MINIMUM REQUIRED VOLUME SHALL BE 90 CUBIC FEET PER 1,000 BTU/HR OF THE APPLIANCE INPUT RATING. INFILTRATION MAY BE REGARDED AS ADEQUATE TO PROVIDE COMBUSTION AIR, IF NOT, PROVIDE COMBUSTION AIR FOR APPLIANCES. **2018 IRC G2407.5.1 & G2407.5.2**; **2018 UMC 701.4.1**
- MAKEUP AIR SHALL BE PROVIDED FOR THE INTERFERENCE OPERATION OF EXHAUST FAN, CLOTHES DRYER AND KITCHEN VENTILATION SYSTEM WITH COMBUSTION APPLIANCES **2018 IRC G2407.4**; **2018 UMC 701.3**
- 9.) OUTDOOR COMBUSTION AIR OPENING LOCATIONS SHALL BE PROVIDED IN COMPLIANCE WITH **2018 IRC G2407**; **2018 UMC 701.6** TWO PERMANENT OPENINGS METHOD (G2407.6.1) OR ONE PERMANENT OPENING METHOD (G2407.6.2) OR PROVIDE CALCULATIONS TO COMPLY WITH ALLOWED INTERIOR AND EXTERIOR AIR PROVISIONS AS ALLOWED BY **2018 IRC G2407.7.1** THROUGH **G2407.7.3**. COMBUSTION AIR DUCTS SHALL BE CONSTRUCTED OF GALVANIZED STEEL COMPLYING WITH CHAPTER 16 OR OF A MATERIAL HAVING EQUIVALENT CORROSION RESISTANCE, STRENGTH AND RIGIDITY. **2018 IRC G2407.11**; **2018 UMC 701.11**
- 10.) UNDERFLOOR SPACES CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN ACCESS OPENING AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO REMOVE THE APPLIANCE. THE PASSAGEWAY SHALL BE NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE, NOT MORE THAN 20 FEET IN LENGTH MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. **2018 UMC 304.4**; **UPC 2018 508.4**
- 11.) CLOTHES DRYER VENT SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157 INCHES NO. 26 GAUGE; THE DUCT SHALL BE 4 INCHES NOMINAL IN DIAMETER. **2018 IRC M1502.4.1**; **2018 UMC 504.4.2** DRYER EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING 2 90 DEGREE ELBOW, A LENGTH OF 2 FEET SHALL BE REDUCED TO 1 FEET. EXHAUST DUCT SHALL BE PERMITTED TO CONNECT TO EXHAUST DUCTS, TRANSITION DUCTS NOT MORE THAN 6 FEET SHALL BE PERMITTED TO CONNECT TO EXHAUST DUCTS, TRANSITION AND FLEXIBLE DUCTS SHALL NOT BE CONCEALED **2018 UMC 504.4.2.2**
- 12.) WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQUARE INCHES SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. **2018 UMC 504.4.1 (1)**
- 13.) FACTORY BUILT FIREPLACES SHALL COMPLY WITH UL 127 AND STOVE FIREPLACES SHALL COMPLY WITH UL737. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTION. **2018 UMC 913.1, 2**
- 14.) CHIMNEY VENT, CATEGORY 1 OR LISTED APPLIANCES FOR USE WITH TYPE B VENT, TERMINATION SHALL BE IN ACCORDANCE WITH **2018 UMC 802.6.1 ITEM 1,2,4,5**
- 15.) VENTING SYSTEMS OF DIRECT VENT APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLIANCE AND THE VENT MANUFACTURER'S INSTRUCTIONS. **2018 UMC 802.6** VENT TERMINAL OF DIRECT VENT APPLIANCES WITH INPUT OF 10,000 BTU OR LESS SHALL BE AT LEAST 5 INCHES AWAY FROM ANY AIR OPENING INTO THE BUILDING. APPLIANCE WITH INPUT OF 50,000 BTU SHALL BE 5 INCHES CLEARANCE, AND APPLIANCE EXCEEDING 50,000 BTU SHALL HAVE AT LEAST 12 INCHES VENT TERMINATION CLEARANCE. **2018 UMC 802.2**
- 16.) VENTS INSTALLED PER MANUFACTURER'S SPECIFICATIONS THROUGH THE WALL VENTS SHALL TERMINATE NOT LESS THAN 3 FEET ABOVE ANY FORCED AIR INLET LOCATED WITHIN 10 FEET HORIZONTALLY. **2018 UMC 802.8**
- 17.) MECHANICAL DRAFT VENTING SYSTEM OTHER THAN DIRECT-VENT SHALL TERMINATE AT LEAST 4 FEET BELOW, 4 FEET HORIZONTALLY FROM OR 1 FOOT 1 FOOT ABOVE ANY DOOR, WINDOW OR GRAVITY AIR INLET INTO THE BUILDING. **2018 UMC 802.8.1**
- 18.) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE PER **2018 IRC SECTION M1505**.
- 19.) THE WHOLE BUILDING VENTILATION AIRFLOW REQUIREMENTS IN ASHRAE 62.2 ARE REQUIRED IN RESIDENTIAL PROJECT ADDITIONS GREATER THAN 1,000 SF. THE REQUIRED SIZE OF THE NEW SYSTEM SHALL CONSIDER BOTH THE EXISTING AND NEW CONDITIONED SPACE, FIELD VERIFICATION AND DIAGNOSTIC TESTING OF AIRFLOW REQUIRED.
- 20.) WHOLE BUILDING MECHANICAL VENTILATION SYSTEMS REQUIRE "APPROPRIATELY LABELED" CONTROLS. PROVIDE APPROPRIATE NOTATION/SPECIFICATIONS ON PLANS FOR LABELING TO INFORM OCCUPANT(S) THAT THE FAN SHOULD BE OPERATING WHENEVER THE HOME IS OCCUPIED. THE SIGN AND ITS POSTING SHALL BE PERMANENT. (SUGGESTED VERBIAGE: TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION;) PROVIDE APPROPRIATE NOTATIONS ON PLANS.
- 21.) IF A CENTRAL HEATING/COOLING SYSTEM AIR HANDLER FAN IS UTILIZED FOR PROVIDING VENTILATION TO THE DWELLING (CENTRAL FAN INTEGRATED VENTILATION), THE AIR HANDLER MUST MEET THE PRESCRIPTIVE FAN WATT DRAW WHICH REQUIRES HER'S RATER INSPECTION AS WELL.
- 22.) WHERE ATMOSPHERICALLY VENTED COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE TOTAL NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS (NOT INCLUDING A SUMMER COOLING FAN INTENDED TO BE OPERATED ONLY WHEN WINDOWS OR OTHER AIR INLETS ARE OPEN) SHALL NOT EXCEED 15 CFM/100 SQUARE FEET OF OCCUPIED SPACE WHEN IN OPERATION AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUTDOOR AIRFLOW.
- 23.) DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE SMOOTH INTERIOR SURFACE, AIR-TIGHT, AND EQUIPPED WITH BACKDRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS, IT SHALL NOT TERMINATE IN AN ATTIC, CRAWL SPACE OR AREAS INSIDE THE BUILDING. **2018 IRC M1503.3**
- (RECIRCULATING RANGE HOODS THAT DO NOT EXHAUST TO THE OUTSIDE DO NOT MEET REQUIREMENT, THE ONLY WAY TO AVOID A VENTED KITCHEN HOOD IS TO PROVIDE MORE THAN 5 AIR CHANGES PER HOUR OF CONSTANT LOCAL EXHAUST VENTILATION). DESIGN FOR CONTINUOUS OR INTERMITTENT OPERATION. CONTINUOUSLY OPERATING KITCHEN FANS MUST OPERATE AT 5 AIR CHANGES PER HOUR, WITH A SOUND RATING OF 1 SONE AND INSTALLED TO OPERATE WITHOUT OCCUPANT INTERVENTION. INTERMITTENT VENTILATION AIRFLOW OF 100 CFM IS REQUIRED WITH A SOUND RATING OF 3 SONES FOR THE KITCHEN RANGE HOOD, OR CEILING OR WALL-MOUNTED EXHAUST FAN, OR A DUCTED FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR. INTERMITTENT LOCAL EXHAUST FANS TO BE OPERATED BY THE OCCUPANT (WALL SWITCH, ETC.) PROVIDE BACKDRAFT DAMPER.
- 24.) BATHROOMS SHALL HAVE LOCAL EXHAUST SYSTEMS VENTED TO THE OUTDOORS. **2018 IRC M1503.3** (BATHROOM IS ANY ROOM CONTAINING A BATH/TUB, SHOWER, SPA, OR OTHER SIMILAR SOURCE OF MOISTURE, DOES NOT INCLUDE A TOILET OR SINK). DESIGN FOR CONTINUOUS OR INTERMITTENT OPERATION. CONTINUOUSLY OPERATING BATHROOM FANS MUST OPERATE AT A MINIMUM OF 20 CFM WITH A SOUND RATING OF 1 SONE OR LESS. A MINIMUM INTERMITTENT VENTILATION AIRFLOW OF 50 CFM IS REQUIRED FOR THE BATH FAN WITH A SOUND RATING OF 3 SONES OR LESS, WITHOUT OCCUPANT INTERVENTION. INTERMITTENT LOCAL EXHAUST FANS TO BE OPERATED BY THE OCCUPANT (WALL SWITCH, ETC.) AND AN INTEGRAL TIMER SHALL BE USED TO DEFINE THE FRACTIONAL TIME CONSIDERED IN DESIGN. ON PLANS, DEFINE THE PROPOSED OPERATION OF AND REQUIRED CFM RATE OF BATHROOM LOCAL EXHAUST SYSTEMS.
- 25.) ASHRAE 62.2 REQUIRES THAT THE INSTALLER OR BUILDER PROVIDE WRITTEN INFORMATION ON THE BASIC VENTILATION CONCEPT BEING USED AND THE EXPECTED PERFORMANCE OF THE SYSTEM. THESE INSTRUCTIONS MUST INCLUDE HOW TO OPERATE THE SYSTEM AND WHAT MAINTENANCE IS REQUIRED. CONTRACTOR/OWNER TO PROVIDE THIS INFORMATION AS PART OF HOME MANUAL.

ELECTRICAL

- 1.) ANY PROPOSED INSTALLATION OF ELECTRICAL PANEL WITHIN A SHEAR WALL SHALL BE ADDED WITH ENGINEER.
- 2.) OVERCURRENT DEVICES SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL, SUCH AS IN CLOTHES CLOSETS, IN DWELLING UNITS, DORMITORIES, AND GUEST ROOMS OR GUEST SUITES OVERCURRENT DEVICES, OTHER THAN SUPPLEMENTARY OVERCURRENT PROTECTION, SHALL NOT BE LOCATED IN BATHROOMS. OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER IN HIGHEST POSITION NOT GREATER THAN 6'-7" ABOVE FLOOR OR WORKING PLATFORM. **2017 NEC ARTICLE 240-2(A), D, E)**
- 3.) ACCESS AND WORKING SPACE SHALL BE PROVIDED AND MAINTAINED ABOUT ALL ELECTRICAL EQUIPMENT TO PERMIT READY AND SAFE OPERATION AND MAINTENANCE OF SUCH EQUIPMENT, THE WIDTH OF THE WORKING SPACE IN FRONT OF THE ELECTRICAL EQUIPMENT SHALL BE SUPPORTED ON A LEVEL EQUIPMENT OR 30", WHICHEVER IS GREATER, THE HEIGHT OF WORKING SPACE SHALL BE CLEAR AND EXTEND FROM THE GRADE, FLOOR, OR PLATFORM TO A HEIGHT OF 6' - 1/2" OR HEIGHT OF THE EQUIPMENT, WHICHEVER IS GREATER, THE DEPTH OF WORKING SPACE SHALL NOT BE LESS THAN THAT SPECIFIED IN THE **TABLE 110.26(A)(1) 2017 NEC ARTICLE 110-26 (A 1,2,3)**
- 4.) SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. **2018 IRC R314.3-4**; **2018 IRC 907.2.10.2**; **907.2.10.5**
- 5.) SMOKE ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING SUCH IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE THE POWER IS INTERRUPTED, SHALL RECEIVE FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR THE OVERCURRENT PROTECTION. **2018 IRC R314.6**; **2018 IRC 907.2.10.6**
- 6.) CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS IS PERMITTED **2018 IRC R315**; **R314.7**, PROVIDED THAT THEY ARE LISTED IN ACCORDANCE WITH UL268 AND UL2075 AND ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHALL, FOR SMOKE ALARMS.
- 7.) RECEPTACLES THAT PROVIDE POWER FOR A SPA, HOT TUB OR HYDRO MASSAGE BATHTUB SHALL BE GROUND-Fault CIRCUIT INTERRUPTER PROTECTED, ELECTRIC LIGHTING FIXTURES AND OUTLETS IN AREA OF SPA AND HOT TUBS SHALL COMPLY WITH **2017 NEC ARTICLE 680.6**
- 8.) RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R402.4.5.**
- 9.) THE ENERGY CONSUMPTION OF POOLS AND PERMANENT SPAS SHALL BE IN ACCORDANCE WITH **SECTIONS R403.10.1 THROUGH R403.10.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.**
- 10.) SNOW AND ICE-MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVERMENT TEMPERATURE IS ABOVE 32°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R403.9.**
- 11.) NOT LESS THAN ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R403.1.**
- 12.) NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R404.1.**
- 13.) ALL REVISIONS PROPOSED DUE TO REMODEL/ALTERATION SHALL COMPLY WITH **SECTIONS R502.1.1 THROUGH R502.1.1.4 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.**
- 14.) IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND SIMILAR AREAS OF DWELLING UNITS, RECEPTACLE OUTLETS FOR COUNTER SPACES SHALL BE INSTALLED AT EACH WALL COUNTERTOP SPACE, THAT IS 12" OR WIDER, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULA COUNTER TOPS WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER SHALL BE PROVIDED WITH AT LEAST ONE RECEPTACLE. A PENINSULA COUNTER IS MEASURED FROM THE CONNECTING EDGE. RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20" ABOVE THE COUNTERTOP. **2017 NEC ARTICLE 210-52(C)(1) THROUGH (C)(5).**
- 15.) RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO SMALL APPLIANCE BRANCH CIRCUITS, EITHER OR BOTH OF WHICH SHALL BE PERMITTED TO SUPPLY RECEPTACLE OUTLETS IN THE SAME ROOM AND IN OTHER ROOMS. EITHER BY A 20 AMP OR FEWER THAN TWO 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS. THESE CIRCUITS MAY ALSO SUPPLY THE RECEPTACLE OUTLETS FOR THE REFRIGERATOR AND IN THE PANTRY, DINING ROOM, AND BREAKFAST ROOM. **2017 NEC ARTICLE 210-52(B)(1-3).**
- 16.) IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNDROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET, INCLUDING ANY SPACE 2' OR MORE IN WIDTH AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS AND SIMILAR OPENINGS, FIREPLACES AND FIXED CABINETS, THE SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS, THE SPACE AFFORDED BY FIXED ROOM DIVIDERS, SUCH AS FREESTANDING BAR-TYPE COUNTERS OR RAILINGS. **2017 NEC ARTICLE 210-52(A).**
- 17.) AT LEAST ONE LIGHTING OUTLET SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES WITH POWER AND AT THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS AT THE POINT OF ENTRY TO THE ATTIC, UNDERFLOOR SPACE, UTILITY ROOM AND BASEMENT AT AT LEAST ONE LIGHTING OUTLET CONTAINING A SWITCH OR CONTROLLED BY A WALL SWITCH SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING, WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY. TO CONTROL THE LIGHTING OUTLETS WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS HAS 6 RISERS OR MORE. **2017 NEC ARTICLE 210-70(A - C).**
- 18.) PROVIDE A 125-VOLT, SINGLE PHASE 15 OR 20 AMPERE RATED RECEPTACLE OUTLET FOR THE OUTDOOR AIR CONDITIONING CONDENSER EQUIPMENT, THE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERANT EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE EQUIPMENT DISCONNECTION MEANS. **2017 NEC ARTICLE 210-65.**
- 19.) LUMINAIRE IN CLOTHES CLOSETS SHALL BE INSTALLED AS FOLLOWS: (1) SURFACE MOUNTED OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCES, (2) SURFACE MOUNTED OR RECESSED FLUORESCENT LUMINAIRES, (3) SURFACE MOUNTED FLUORESCENT OR LED LUMINAIRES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN THE CLOSET STORAGE SPACE, MINIMUM 12" CLEARANCE FOR SURFACE MOUNTED INCANDESCENT OR LED LUMINAIRES WITH A COMPLETELY ENCLOSED LIGHT SOURCE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, MINIMUM 6" CLEARANCE FOR SURFACE MOUNTED FLUORESCENT OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH A COMPLETELY ENCLOSED LIGHT SOURCES INSTALLED IN THE WALL OR THE CEILING. **2017 NEC ARTICLE 210-16(A - C).**
- 20.) GFCI PROTECTION IS REQUIRED FOR RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (RECEPTACLES SERVING THE COUNTERTOP SPACES), SINKS WHERE RECEPTACLES ARE INSTALLED WITHIN 6' OF THE EDGE OF THE OUTSIDE EDGE OF THE SINK, ON CONSTRUCTION POWER POLE, IN CRAWL SPACES AT OR BELOW GRADE LEVEL, IN UNFINISHED BASEMENTS, GRADE LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS. **2017 NEC ARTICLE 210-8(A,D,E).** AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 6' OF THE OUTSIDE EDGE OF EACH BASIN, THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP, LOCATED ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET. IN NO CASE SHALL THE RECEPTACLE BE LOCATED MORE THAN 12" BELOW THE TOP OF THE BASIN. **2017 NEC 210-52(D).**
- 21.) AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY A BATHROOM RECEPTACLE OUTLET. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. **2017 NEC ARTICLE 210-11(C)(3).**
- 22.) AT LEAST ONE RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6'-6" ABOVE GRADE LEVEL SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING, IN AREAS DESIGNATED FOR THE INSTALLATION OF LAUNDRY EQUIPMENT; IN EACH ATTACHED / DETACHED GARAGE, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED FOR EACH CAR SPACE AND IN EACH SEPARATE UNFINISHED PORTION OF A BASEMENT, HALLWAYS OF 10' OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. **2017 NEC ARTICLE 210-52.**
- 23.) AFC FAULT PROTECTION REQUIRED, ALL 120 VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN **210.12(A)(X)1** THROUGH **(6)**, **2017 NEC ARTICLE 210-12(A)**
- 24.) DWELLING UNIT TAMPER RESISTANT RECEPTACLES, IN ALL AREAS SPECIFIED IN 2017 NEC 210.52, ALL NON-LOCKING-TYPE 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. **2017 NEC 406.12**
- 25.) GENERAL-USE DIMMER SWITCHES SHALL BE USED ONLY TO CONTROL PERMANENTLY INSTALLED INCANDESCENT LUMINAIRES UNLESS LISTED FOR THE CONTROL OF OTHER LOADS AND INSTALLED ACCORDINGLY. **2017 NEC 404.14 (E)**
- 26.) AN INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING CONDUCTORS REQUIRED FOR OTHER SYSTEMS SHALL BE PROVIDED EXTERNAL TO ENCLOSURES AT THE SERVICE EQUIPMENT OR METERING EQUIPMENT ENCLOSURE AND AT THE DISCONNECTING MEANS FOR ANY ADDITIONAL BUILDINGS OR STRUCTURES AS SPECIFIED IN **2017 NEC 800.100(B)** AND **NEC 250.94 (A)**
- 27.) PERMANENTLY INSTALLED SPA MANUAL DISCONNECT DEVICE SHALL BE ADJACENT TO HOT TUB, AT LEAST 5- FEET AWAY FROM THE INSIDE WALL, AND WITHIN LINE OF SIGHT **2017 NEC 680.13**

PLUMBING

- 1.) AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH **2018 IRC SECTION P204 OR NFPA 13D.**
- 2.) WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1. HOLES IN LOAD-BEARING MEMBERS OF COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION SHALL BE PERMITTED ONLY IN BATHROOMS. OVERCURRENTHOLES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER IN HIGHEST POSITION NOT GREATER THAN 6'-7" ABOVE FLOOR OR WORKING PLATFORM. **2017 NEC ARTICLE 240-2(A), D, E)**
- 3.) WATER, SOIL OR WASTE PIPE SHALL NOT BE INSTALLED OUTSIDE OF A BUILDING, IN EXTERIOR WALLS, AND THROUGHS OR CRAWL SPACES, OR IN ANY OTHER SPACE SUBJECTED TO FREEZING TEMPERATURE UNLESS ADEQUATE PROVISION IS MADE TO PROTECT IT FROM FREEZING BY INSULATION OR HEAT OR BOTH. WATER SERVICE PIPE SHALL BE INSTALLED NOT LESS THAN 12 INCHES DEEP AND NOT LESS THAN 6 INCHES BELOW THE FROST LINE PER **2018 IRC P2603.5.**
- 4.) ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18"x24". OPENINGS THROUGH A PERIMETER WALL SHALL NOT BE LESS THAN 18"x24" WHEN ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16"x24" SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. **2018 IRC R408.4**; **2018 IRC 1208.1**;
- 5.) WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE NOT LESS THAN 21 INCHES IN FRONT OF A WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. **2018 IRC R307.1 / P2705.1**
- 6.) WATER CLOSETS MUST USE NO MORE THAN 1.6 GALLONS PER FLUSH. **2018 IRC P2903.2** SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.5 GPM AT 80 PSI **2018 UPC 408.2**
- 7.) SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE MINIMUM FINISHED INTERIOR AREA OF 1.054 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND A POINT TARGET TO ITS CENTERLINE. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVES, SHOWERHEADS, SOAP DISHES, SAFETY GRAB BARS OR RAILS. FOLD DOWN SEATS IS PERMITTED TO PROTRUDE. **2018 UPC 408.6**
- 8.) SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH SMOOTH NON-ABSORBENT SURFACE **2018 IRC 1209.2.3**
- SHOWER RECEPTORS BUILT ON-SITE SHALL BE WATER-TIGHT AND CONSTRUCTED FROM APPROVED-TYPE DENSE, NONABSORBENT AND NON-CORROSIVE MATERIALS. IT SHALL HAVE SMOOTH, IMPERVIOUS AND DURABLE SURFACE. **2018 UPC 408.6**
- 9.) INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED-PRESSURE, THERMOSTATIC OR COMBINATION BALANCED-PRESSURE-THERMOSTATIC VALVES THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. SHALL BE INSTALLED AT THE POINT OF USE AND COMPLY WITH ASSE 1016/ASME A112.1016/CSA B125.16 OR ASME A112.18.1/CSA B125.1. SHOWER AND TUB-SHOWER COMBINATION VALVES REQUIRED BY THIS SECTION SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120°F (50°C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. WATER HEATER NOT UNDERFLOOR CLEAN-OUT SHALL BE LOCATED EXCEEDING 5- FEET FROM ACCESS DOOR OR TRAP DOOR OR CRAWL SPACE ACCESS **2018 UPC 707.9**
- 10.) NOT LESS THAN ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R403.1.**
- 11.) NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R404.1.**
- 12.) NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. **2018 INTERNATIONAL ENERGY CONSERVATION CODE R404.1.**
- 13.) ALL REVISIONS PROPOSED DUE TO REMODEL/ALTERATION SHALL COMPLY WITH **SECTIONS R502.1.1 THROUGH R502.1.1.4 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.**
- 14.) IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND SIMILAR AREAS OF DWELLING UNITS, RECEPTACLE OUTLETS FOR COUNTER SPACES SHALL BE INSTALLED AT EACH WALL COUNTERTOP SPACE, THAT IS 12" OR WIDER, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULA COUNTER TOPS WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER SHALL BE PROVIDED WITH AT LEAST ONE RECEPTACLE. A PENINSULA COUNTER IS MEASURED FROM THE CONNECTING EDGE. RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20" ABOVE THE COUNTERTOP. **2017 NEC ARTICLE 210-52(C)(1) THROUGH (C)(5).**
- 15.) RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO SMALL APPLIANCE BRANCH CIRCUITS, EITHER OR BOTH OF WHICH SHALL BE PERMITTED TO SUPPLY RECEPTACLE OUTLETS IN THE SAME ROOM AND IN OTHER ROOMS. EITHER BY A 20 AMP OR FEWER THAN TWO 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS. THESE CIRCUITS MAY ALSO SUPPLY THE RECEPTACLE OUTLETS FOR THE REFRIGERATOR AND IN THE PANTRY, DINING ROOM, AND BREAKFAST ROOM. **2017 NEC ARTICLE 210-52(B)(1-3).**
- 16.) IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNDROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET, INCLUDING ANY SPACE 2' OR MORE IN WIDTH AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS AND SIMILAR OPENINGS, FIREPLACES AND FIXED CABINETS, THE SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS, THE SPACE AFFORDED BY FIXED ROOM DIVIDERS, SUCH AS FREESTANDING BAR-TYPE COUNTERS OR RAILINGS. **2017 NEC ARTICLE 210-52(A).**
- 17.) AT LEAST ONE LIGHTING OUTLET SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES WITH POWER AND AT THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS AT THE POINT OF ENTRY TO THE ATTIC, UNDERFLOOR SPACE, UTILITY ROOM AND BASEMENT AT AT LEAST ONE LIGHTING OUTLET CONTAINING A SWITCH OR CONTROLLED BY A WALL SWITCH SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING, WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY. TO CONTROL THE LIGHTING OUTLETS WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS HAS 6 RISERS OR MORE. **2017 NEC ARTICLE 210-70(A - C).**
- 18.) PROVIDE A 125-VOLT, SINGLE PHASE 15 OR 20 AMPERE RATED RECEPTACLE OUTLET FOR THE OUTDOOR AIR CONDITIONING CONDENSER EQUIPMENT, THE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERANT EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE EQUIPMENT DISCONNECTION MEANS. **2017 NEC ARTICLE 210-65.**
- 19.) LUMINAIRE IN CLOTHES CLOSETS SHALL BE INSTALLED AS FOLLOWS: (1) SURFACE MOUNTED OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCES, (2) SURFACE MOUNTED OR RECESSED FLUORESCENT LUMINAIRES, (3) SURFACE MOUNTED FLUORESCENT OR LED LUMINAIRES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN THE CLOSET STORAGE SPACE, MINIMUM 12" CLEARANCE FOR SURFACE MOUNTED INCANDESCENT OR LED LUMINAIRES WITH A COMPLETELY ENCLOSED LIGHT SOURCE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, MINIMUM 6" CLEARANCE FOR SURFACE MOUNTED FLUORESCENT OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH A COMPLETELY ENCLOSED LIGHT SOURCES INSTALLED IN THE WALL OR THE CEILING. **2017 NEC ARTICLE 210-16(A - C).**
- 20.) GFCI PROTECTION IS REQUIRED FOR RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (RECEPTACLES SERVING THE COUNTERTOP SPACES), SINKS WHERE RECEPTACLES ARE INSTALLED WITHIN 6' OF THE EDGE OF THE OUTSIDE EDGE OF THE SINK, ON CONSTRUCTION POWER POLE, IN CRAWL SPACES AT OR BELOW GRADE LEVEL, IN UNFINISHED BASEMENTS, GRADE LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS. **2017 NEC ARTICLE 210-8(A,D,E).** AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 6' OF THE OUTSIDE EDGE OF EACH BASIN, THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP, LOCATED ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET. IN NO CASE SHALL THE RECEPTACLE BE LOCATED MORE THAN 12" BELOW THE TOP OF THE BASIN. **2017 NEC 210-52(D).**
- 21.) AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY A BATHROOM RECEPTACLE OUTLET. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. **2017 NEC ARTICLE 210-11(C)(3).**
- 22.) AT LEAST ONE RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6'-6" ABOVE GRADE LEVEL SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING, IN AREAS DESIGNATED FOR THE INSTALLATION OF LAUNDRY EQUIPMENT; IN EACH ATTACHED / DETACHED GARAGE, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED FOR EACH CAR SPACE AND IN EACH SEPARATE UNFINISHED PORTION OF A BASEMENT, HALLWAYS OF 10' OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. **2017 NEC ARTICLE 210-52.**
- 23.) AFC FAULT PROTECTION REQUIRED, ALL 120 VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN **210.12(A)(X)1** THROUGH **(6)**, **2017 NEC ARTICLE 210-12(A)**
- 24.) DWELLING UNIT TAMPER RESISTANT RECEPTACLES, IN ALL AREAS SPECIFIED IN 2017 NEC 210.52, ALL NON-LOCKING-TYPE 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. **2017 NEC 406.12**
- 25.) GENERAL-USE DIMMER SWITCHES SHALL BE USED ONLY TO CONTROL PERMANENTLY INSTALLED INCANDESCENT LUMINAIRES UNLESS LISTED FOR THE CONTROL OF OTHER LOADS AND INSTALLED ACCORDINGLY. **2017 NEC 404.14 (E)**
- 26.) AN INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING CONDUCTORS REQUIRED FOR OTHER SYSTEMS SHALL BE PROVIDED EXTERNAL TO ENCLOSURES AT THE SERVICE EQUIPMENT OR METERING EQUIPMENT ENCLOSURE AND AT THE DISCONNECTING MEANS FOR ANY ADDITIONAL BUILDINGS OR STRUCTURES AS SPECIFIED IN **2017 NEC 800.100(B)** AND **NEC 250.94 (A)**
- 27.) PERMANENTLY INSTALLED SPA MANUAL DISCONNECT DEVICE SHALL BE ADJACENT TO HOT TUB, AT LEAST 5- FEET AWAY FROM THE INSIDE WALL, AND WITHIN LINE OF SIGHT **2017 NEC 680.13**

STRATEGIC
PROPERTIES
GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

REVISIONS:



Generated by REScheck-Web Software Compliance Certificate

Project Strategic Properties Group Lot 342 Custom Home

Energy Code: **2018 IECC**
Location: **Carson City, Nevada**
Construction Type: **Single-Family**
Project Type: **New Construction**
Orientation: **Bldg. faces 195 deg. from North**
Conditioned Floor Area: **3,019 ft²**
Glazing Area: **16%**
Climate Zone: **5 (5691 HDD)**
Permit Date: **2024-03-23T07:00:00.000Z**
Permit Number: **Pending**
All Electric: **false**
Is Renewable: **false**
Solar Ready: **false**
Has Charger: **false**
Has Battery: **false**
Has Heat Pump: **false**
Electric Ready: **false**
Responsive Water Heating: **false**
Construction Site: **Lot 342 / C56, Unit 2**
Clear Creek, NV 89301

Owner/Agent: Strategic Properties Group, LLC
Designer/Contractor: Kevin Bryan
Donald Joseph Inc
2620 2141 Street
Sacramento, CA 95813
916-456-2300
kbryan@donaldjoseph.com

Compliance: Passes using UA trade-off

Compliance: **1.4% Better Than Code** Maximum UA: **641** Your UA: **632**
The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
A 0% BTR provides an estimate of energy use or cost relative to a minimum-code house.
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	2,725	38.0	0.0	0.030	0.026	82	71
Front Wall 2x6: Wood Frame, 16" o.c. Orientation: Front	810	21.0	0.0	0.057	0.060	36	38
Door: Solid Door (under 50% glazing) Orientation: Front	24			0.200	0.300	5	7
Entry Door: Solid Door (under 50% glazing) Orientation: Front	36			0.200	0.300	7	11
Window 2: Metal Frame w/ Thermal Break Orientation: Front	117			0.300	0.300	35	35

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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1.1 402.3.4 [F11] [P1] [U]	Door U-Factor.	U=	U=	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1.1 402.3.3 402.5 [F12] [U]	Glazing U-Factor (area-weighted average).	U=	U=	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [F14] [U]	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.1.1 [F123] [U]	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.3 [F120] [U]	Fenestration that is not site built is labeled and labeled as meeting AAMA (WMA/CSA 1013.5,2)A440 and has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 [F16] [U]	K-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≥ 2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.1 [F112] [U]	Supply and return ducts in attics insulated $\geq R-8$ where duct is ≥ 3 inches in diameter and ≥ 3.6 where ≤ 3 inches. Supply and return ducts in other portions of the building insulated $\geq R-6$ for diameter ≥ 3 inches and R-4.2 for ≤ 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.2 [F113] [U]	Ducts, air handlers and filter boxes are sealed with mastic/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.5 [F113] [U]	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.4 [F117] [U]	HVAC piping conveying fluids above 185 °F or chilled fluids below 55 °F are insulated to $\geq R-3$.	R=	R=	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.4.1 [F124] [U]	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.3 [F118] [U]	Hot water pipes are insulated to $\geq R-3$.	R=	R=	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [F125] [U]	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficiency and air flow limits per Table 403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2 [F126] [U]	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.1 [F128] [U]	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.2 [F129] [U]	Electric heat trace systems comply with IEEE 515.3 or UL 115. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.2 [F130] [U]	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 124^{\circ}\text{F}$.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.4 [F131] [U]	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units ≤ 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units ≤ 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
404.1 [F16] [U]	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
404.1.1 [F123] [U]	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
401.3 [F17] [U]	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
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REScheck Software Version : REScheck-Web Inspection Checklist

Energy Code: 2018 IECC

Requirements: 87.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1.1 103.2 [P1] [U]	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
103.1.1 103.2 [P1] [U]	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
302.1 403.7 [P12] [U]	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual S or other methods approved by the code official.	Heating: Buhr: Cooling: Buhr:	Heating: Buhr: Cooling: Buhr:	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 402.6 [F11] [U]	All installed insulation is labeled and the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1.1 402.6 [F11] [U]	Floor insulation R-value.	R= Wood Steel	R= Wood Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 402.2.8 [F12] [U]	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1.1 402.2.5 402.6 [F11] [U]	Wall insulation R-value. If this is a mass wall with at least 1% of the wall insulation on the wall exterior, the exterior insulation requirement applies (F110).	R= Wood Mass Steel	R= Wood Mass Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [F11] [U]	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
Data filename: Page 7 of 10



2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	21.00
Below-Grade Wall	0.00
Floor	30.00
Ceiling / Roof	36.00
Ductwork (unconditioned spaces):	R-8.0
Glass & Door Rating	U-Factor SHGC
Window	0.30 0.35
Door	0.20
Heating & Cooling Equipment	Efficiency
Heating System: (3) Ducted Gas Furnaces	80% after Minimum
Cooling System: (3) Ducted Split A/C's	14.3seer2 / 11.7eer2 Minimum
Water Heater: (2) Tankless Gas	96% UEF
Name: Jeffery J. Burkard	Date: 03/28/2024
Comments	

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [F10] [U]	Slab edge insulation R-value.	R= Unheated Heated	R= Unheated Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [F10] [U]	Slab edge insulation depth/length.	ft	ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [F101] [U]	A protective covering is installed to protect exposed exterior insulation and extend a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.9 [F112] [U]	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
Data filename: Page 4 of 10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 402.2.1 402.2.2 402.2.6 [F11] [U]	Ceiling insulation R-value.	R= Wood Steel	R= Wood Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1 [F12] [U]	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.3 [F12] [U]	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
402.2.4 [F13] [U]	Attic access hatch and door insulation $\geq R$ -value of the adjacent assembly.	R=	R=	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.1.2 [F11] [U]	Blower door test @ 50 Pa. ≤ 5 ach in Climate Zones 1-2, and ≤ 3 ach in Climate Zones 3-8.	ACH 50 =	ACH 50 =	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.3 [F12] [U]	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	R ² cfm/100	R ² cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.4 [F14] [U]	Duct tightness test result of ≤ 4 cfm/100 ft ² across the system or ≤ 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	R ² cfm/100	R ² cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.2.1 [F124] [U]	Air handler leakage designated by manufacturer at $\leq 2\%$ of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.1.1 [F18] [U]	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.1.2 [F10] [U]	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1 [F11] [U]	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: Strategic Properties Group Lot 342 Custom Home Report date: 03/23/24
Data filename: Page 8 of 10

DONALD JOSEPH INC. ARCHITECTURE - INTERIOR DESIGN

2620 21st Street Sacramento, CA 95818
916.456.2300 • www.donaldjoseph.com

STRATEGIC PROPERTIES GROUP, LLC.

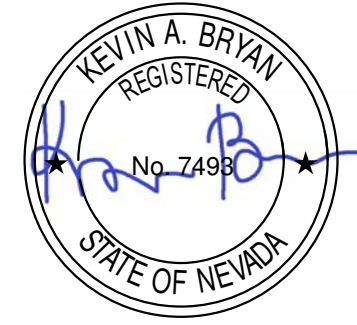
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

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REVISIONS:

- 1
- 2
- 3



ENERGY CALCULATIONS

SCALE:
DATE: MAR. 29, 2024
JOB: 21051
SHEET:

A0.3

STRATEGIC PROPERTIES GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

- CONTRACTOR TO CONSTRUCT SUITABLE NEW PAD FOR BUILDING GRADING TO BE REVIEWED AND APPROVED BY PROJECT GEOTECHNICAL ENGINEER
- CONTRACTOR TO PROVIDE SUITABLE DRAINAGE AWAY FROM BUILDING - 6" FALL FOR 10 FEET AWAY FROM BLDG - OR AS INDICATED BY CIVIL PLANS
- CONTRACTOR TO INSTALL PERIMETER DRAINAGE SYSTEM PER CIVIL DRAWINGS
- CONTRACTOR TO OBTAIN SERVICES OF LICENSED LAND SURVEYOR TO ACCURATELY LOCATE BUILDING ON PROPERTY.
- REFER TO CIVIL PLANS FOR ALL GRADING, DRAINAGE AND UTILITY INFORMATION, AND FLATWORK CONSTRUCTION DETAILS
- CONTRACTOR TO REVIEW AND FOLLOW ALL GEOTECHNICAL REPORT RECOMMENDATIONS - REFER TO COVER SHEET FOR REPORT REFERENCE
- CONTRACTOR TO VERIFY LOCATION OF ALL PROPOSED UTILITY STUB-OUTS AND METERS WITH COUNTY PRIOR TO START OF WORK.
- SITE ROCKERY WALL DESIGN BY OTHERS.

PROJECT INFORMATION

PROJECT OWNERS: STRATEGIC PROPERTIES GROUP, LLC.
PROJECT ADDRESS: 307 SENACAS CT.
PROJECT A.P.N.: 1419-03-002-096

SITE CALCULATIONS

SITE AREA: 29,882 S.F.

BUILDING COVERAGE:

HOUSE:	2,790 S.F.
GARAGE:	1,143 S.F.
COVERED PATIO:	614 S.F.
TOTAL:	4,547 S.F.
MAX. ALLOWABLE SITE COVERAGE:	8,964 S.F.

SITE IMPERVIOUS AREA:

DRIVEWAY:	2,897 S.F.
WALKWAYS/UNCOVERED PATIO	220 S.F.
HOUSE (TOT. COVERAGE)	4,547 S.F.
TOTAL:	7,664 S.F.

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REVISIONS:

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SITE PLAN

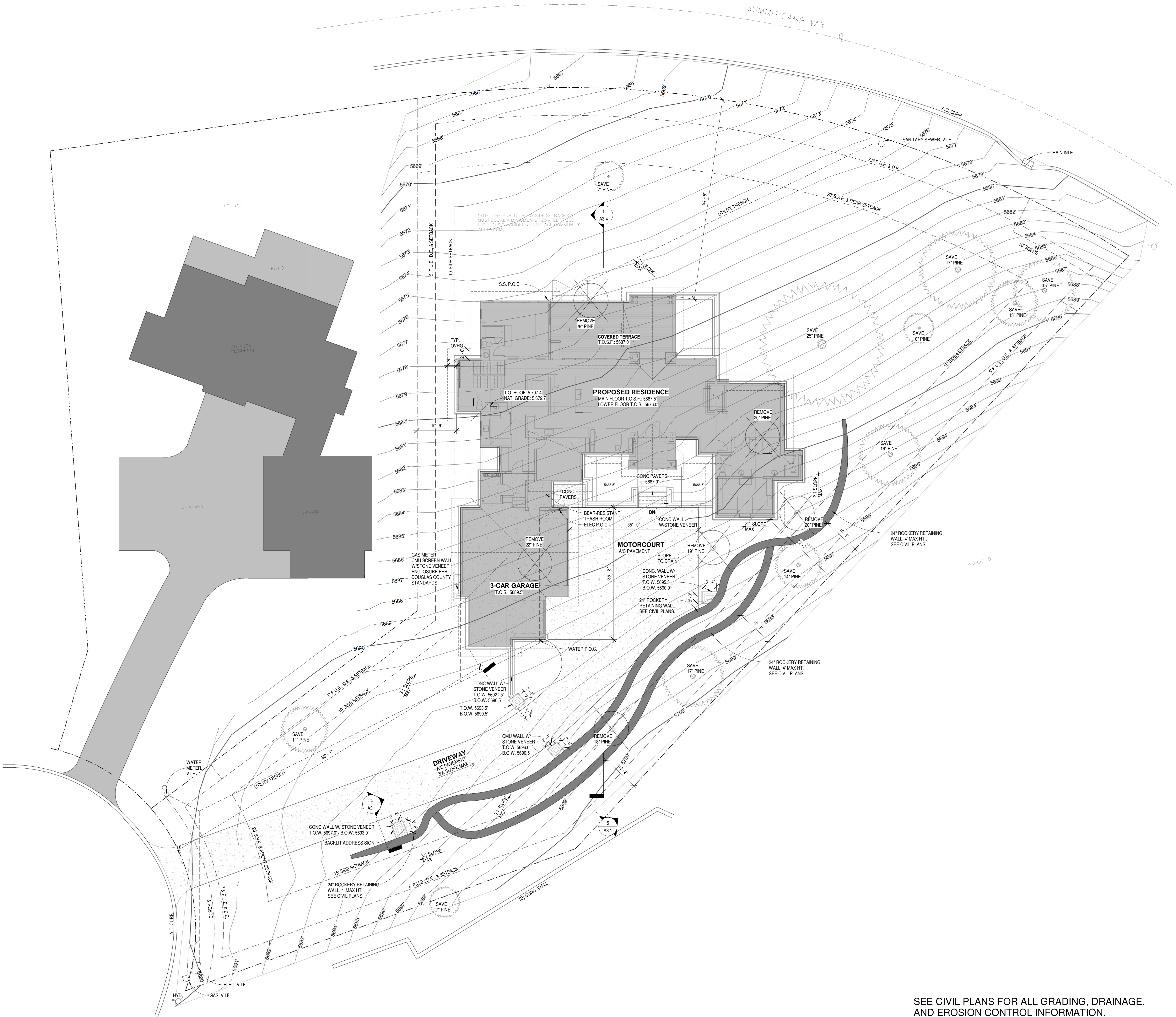
SCALE: 1" = 10'-0"

DATE: MAR. 29, 2024

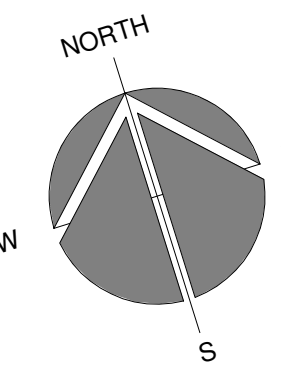
JOB: 21051

SHEET:

A1.1



SEE CIVIL PLANS FOR ALL GRADING, DRAINAGE,
AND EROSION CONTROL INFORMATION.
EXISTING TOPOGRAPHY SHOWN FOR
REFERENCE ONLY, SEE SURVEY.



LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

THIN ALL DEAD AND DAMAGED NATIVE VEGETATION. ENSURE ALL NATIVE
VEGETATION IS THINNED TO PROVIDE AN ADEQUATE WILDLIFE BUFFER
1. ALL IRRIGATION TO CONFORM TO APPLICABLE STATE AND LOCAL CODES
2. IRRIGATION COMPONENTS TO BE COMMERCIAL GRADE AND INSTALLED PER
MANUFACTURERS RECOMMENDATIONS
3. IRRIGATION SYSTEM TO BE A LOW FLOW DRIP SYSTEM FOR WATER
CONSERVATION. EMITTER FLOW TO BE PLANT SPECIFIC AS REDD BY SITE
LOCATION AND SPECIES WATER REQUIREMENTS
4. PROVIDE MINIMUM 4" STATION COMMERCIAL WEATHER RESISTANT IRRIGATION
CONNECTIONS
5. ALL AREAS DISTURBED WILL BE REVEGETATED WITH NATIVE SEED MIXTURE AND
ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW
6. ALL AREAS TO BE LANDSCAPED WILL BE PROTECTED WITH CONSTRUCTION
FENCING AND EROSION CONTROL
7. IRRIGATION CONTROLLER AND BACKFLOW TO BE LOCATED BY GENERAL
CONTRACTOR
8. ALL PLANTING AND IRRIGATION MODIFICATIONS TO BE HAND TRENCHED/DUG IN
WITHIN EXISTING TREE DRILINES
9. NO LANDSCAPE BOLLERS TO BE BURIED TO A MINIMUM OF 12" TOTAL HEIGHT
10. NO COMBUSTIBLE PLANTING WITHIN 5' OF BUILDING- WITH EXCEPTION OF PLANT
TYPE C

1. NURSERY PLANTS SHALL BE THE VARIETY AND SIZE SPECIFIED ON THE PLAN AND BE HEALTHY, SHAPELY AND WELL ROOTED AND CONFORM TO AMERICAN NURSERYMAN'S STANDARDS. TREES SHALL BE ABLE TO STAND STRAIGHT ON THEIR OWN WITHOUT SUPPORT. ANY CHANGES TO PLAN TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT OF REUSUAL. SHOULD PLANT MATERIAL, SIZE AND QUALITY BE DEEMED UNSATISFACTORY, INSPECTION BY LANDSCAPE ARCHITECT IS MANDATORY PRIOR TO ACCEPTANCE OF ALL PLANT MATERIALS. MATERIAL SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. MATERIALS SHALL BE COMPLETELY FREE OF TRUNK, BRANCH AND BARK WOUNDS. STRUCTURE OF PLANT MATERIAL SHALL BE APPROPRIATE TO NATURAL HABIT.
2. INSTALLING CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND AREAS TO BE LANDSCAPED AND NOTIFY OWNER AND/OR LANDSCAPE ARCHITECT OF ANY DISCREPANCY.
3. GRADING OF ENTIRE CONTRACT AREA SHALL BE SMOOTH AND EVEN AND SLOPE TO DRAIN. FINISH GRADES SHALL BE 1/2" BELOW ALL PAVED SURFACES, SLOPES, MOUNDS, AND SWALES SHALL HAVE NO ABRUPT CHANGE IN GRADIENT TO ASSURE A NATURAL, PLACING APPEARANCE.
4. THE PLANTING HOLE SHALL BE DUG TWICE THE WIDTH AND TO THE SAME DEPTH OF THE CONTAINER OR ROOTBALL.
5. THE PLANTING HOLE SHALL BE TESTED FOR DRAINAGE. FILL WITH WATER AND ALLOW TO DRAIN. SHOULD DRAINAGE NOT OCCUR WITHIN A FEW HOURS, THE HOLE SHOULD NOT BE USED AND AN ALTERNATIVE LOCATION FOR PLANT FOUND.
6. THE ROOT BALL SHALL BE GENTLY REMOVED FROM CONTAINER AND ROOT INSPECTED PRIOR TO PLACEMENT IN THE HOLE. THE ROOT BALL SHALL BE PLACED IN THE HOLE WITH THE ROOTS POINTING DOWN. WALLS OF PLANT TO ENCOURAGE ROOTS TO EXTEND OUTWARD. SHOULD PLANT BE ROOT BOUND, THE BALL SHALL BE SCORED WITH A SHARP KNIFE VERTICALLY IN THIRDS DOWN THE ROOTBALL. SIDES APPROXIMATELY 1/2 INCH DEEP TWO THIRDS DOWN THE BOTTOM. THE ROOTS SHALL THEN BE LOOSENED AND SPREAD TO ENCOURAGE OUTWARD GROWTH.
7. PLANT SHALL BE BURIED TO STRUCTURAL ROOT DEPTH. EXCESS MATERIAL ON BALLED AND BURLAP TREES SHALL BE REMOVED. REMOVE BURLAP AND BAGGETS FROM BIB TREES WITH CARE TO MAINTAIN INTEGRITY OF ROOT BALL.
8. ALL TAGS SHALL BE REMOVED FROM PLANTS.
9. A COMPOST OR HUMUS SHALL BE INCORPORATED AT A RATE OF SIX CUBIC YARDS PER 1000 SQUARE FEET FOR IMPROVED MOISTURE AND NUTRIENT RETENTION. COMPOST IS GENERALLY AVAILABLE AT MOST NURSERIES - KELLOGGS' GROW MUCK IS RECOMMENDED. HUMUS, AVAILABLE LOCALLY IN BULK QUANTITIES, MUST BE WELL COMPOSTED TO AVOID ROOT BURN. WHEN COMPOSTED HUMUS IS NOT AVAILABLE, AMENDMENT SHALL BE USED TO ENRICH AND VITILYZED TO PREVENT LOCK UP OF NUTRIENTS AND ROOT BURN. CONTRACTOR TO PROVIDE SAMPLE SUBMITTAL TO LANDSCAPE ARCHITECT.
10. TOP SOIL SHALL BE FERTILE, FRACILE AND FREE OF ROCKS LARGER THAN 1" DIAMETER. NOXIOUS WEED SEEDS OR ORGANIC MATTER. TOP SOIL COVERED TO SITE SHALL HAVE ACHIEVE RANGE OF PH 5.0 TO 7.0 AND SHALL CONTAIN LESS THAN 5% EXTRANEOUS MATTER.
11. BACKFILL MATERIAL SHALL MEET THE LEVEL OF TOP OF ROOTBALL. NEVER ALLOW NEW SOIL TO REIGIN PLANT SITE. BACKFILL SHALL BE PRESSED FIRMLY IN AROUND ROOTBALL.
12. WHEN BACKFILLING IS COMPLETE, CONSTRUCT A WATER RETENTION BERM APPROXIMATELY THREE INCHES HIGH AND THREE THE DIAMETER OF THE ROOT BALL.
13. FILL BASIN INSIDE BERM WITH WATER AND ALLOW TO DRAIN. FILL ANY HOLES THAT APPEAR WITH ADDITIONAL BACKFILL MATERIAL. REPEAT UNTIL HOLES DO NOT APPEAR AND ALL SOIL AROUND ROOT BALL IS MOISTENED.
14. TOP DRESS WITH 2" LOCALLY OBTAINED 1" MINUS GROUND FIBR BARK IN ALL PLANTED AREAS. IN WINDER AREAS MULCH WITH SHEDDED RED CEDAR BARK OR EQUIV. CONTRACTOR TO PROVIDE A SAMPLE SUBMITTAL TO LANDSCAPE ARCHITECT FOR APPROVAL.
15. ONE REDWOOD STAKE OF 1 1/2" BY 1 1/2" SHALL BE INSTALLED FOR WINTER SUPPORT OF MULTISTEMMED SHRUBS UNTIL ADEQUATE BRANCH STRENGTH IS ATTAINED.
16. ONE LODGEPOLE STAKE OF TWO INCHES DIAMETER AND 8-10 FEET IN LENGTH SHALL BE INSTALLED AT THE WINDWARD SIDE OF ALL DECIDUOUS TREES. DOUBLE STAKING WILL BE REQUIRED IN WINDER AND HEAVY SNOW LOAD AREAS. STAKES SHALL BE INSERTED INTO GROUND AT DEGREE OF 45° FROM BALL. NEVER INTO TRUNK. TRY GUYING METHOD IS RECOMMENDED FOR LARGER CONIFEROUS TREES IN WINDER LOCATIONS.
17. TWO TO THREE TREE TIES OF DURABLE CONSTRUCTION SHALL BE USED PER TREE. THE RUBBER OR MORE PLABLE PORTION OF THE TIE SHALL BE SECURED TO THE TRUNK BY THE COMPLETION OF PROJECT AND THE STAKE SHALL BE REMOVED PRIOR TO THE SECOND YEAR ANNUAL INSPECTION.
18. TWISTED TWIGGERS SHOULD SECURING THE TIE IN PLACE BE REQUIRED. NAIL OR STAPLE THE TIE TO THE STAKE ONLY. NEVER TO THE TREE. DO NOT TIE THE TRUNK TOO TIGHTLY AGAINST THE STAKE. ALLOW SOME ROOM TO MOVE IN BREEZE SO AS TO DEVELOP CALKUP STRENGTH IN TRUNK. THE TRUNK SHALL BE SUFFICIENTLY UPRIGHT AND STRAIGHT.
19. IN THE FALL, AFTER LEAVES HAVE DROPPED, BRANCHES OF YOUNG TREES AND SHRUBS AND THOSE CLOSE TO SNOW REMOVAL/STORAGE AREAS SHALL BE FOUND IN AN OPEN, FAN FASHION WITH WIND. TIE TAPES OR EQUAL TO MINIMIZE BRANCH FROST AND MOVEMENT OF SNOW. SEE DETAIL. THIS PROCEDURE SHOULD BE REPEATED EACH YEAR UNTIL TREES AND SHRUBS HAVE ATTAINED SUBSTANTIAL STRENGTH AND GIRTH. UNWRAP TREES AND SHRUBS IN SPRING, BEFORE NEW LEAVES APPEAR.
20. ALL CHANGES TO PLANS TO BE APPROVED BY LANDSCAPE ARCHITECT.
21. UPON COMPLETION OF ALL PROJECT PHASES, INSTALLING CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR INSPECTION AND FINAL APPROVAL.
22. REGULAR MAINTENANCE-PRUNING, FERTILIZING, WEED, DEBRIS AND TRASH REMOVAL. REMOVE AND REPLACE ANY DEAD OR DYING PLANT MATERIAL. REPAIRATION OF IRRIGATION SYSTEM AS NEEDED. REPORT - PRIOR TO THE TWO YEAR ANNIVERSARY OF COMPLETION OF PROJECT A REPORT SHALL BE SUBMITTED TO THE TWO YEAR ANNIVERSARY OF COMPLETION OF PROJECT A REPORT SHALL BE PREPARED BY THE PROJECT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT WHICH DOCUMENTS THE CONDITION OF THE LANDSCAPING AND PROVIDES RECOMMENDATIONS AS TO WHETHER ANY LANDSCAPING SHOULD BE REPAIRED, REPLACED OR INSTALLED. THE CONTRACTOR SHALL SUBMIT A REPORT TO THE LANDSCAPE ARCHITECT AND INTO THE FINAL LANDSCAPE PLAN, AND THE LANDSCAPING SHALL BE REPAIRED, REPLACED AND INSTALLED WITHIN SIX MONTHS OF THE DATE OF APPROVAL OF THE REPORT.

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REVISIONS:



LANDSCAPE PLAN

SCALE: As indicated

DATE: MAR. 29, 2024

JOB: 21051

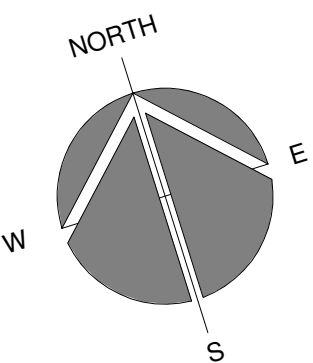
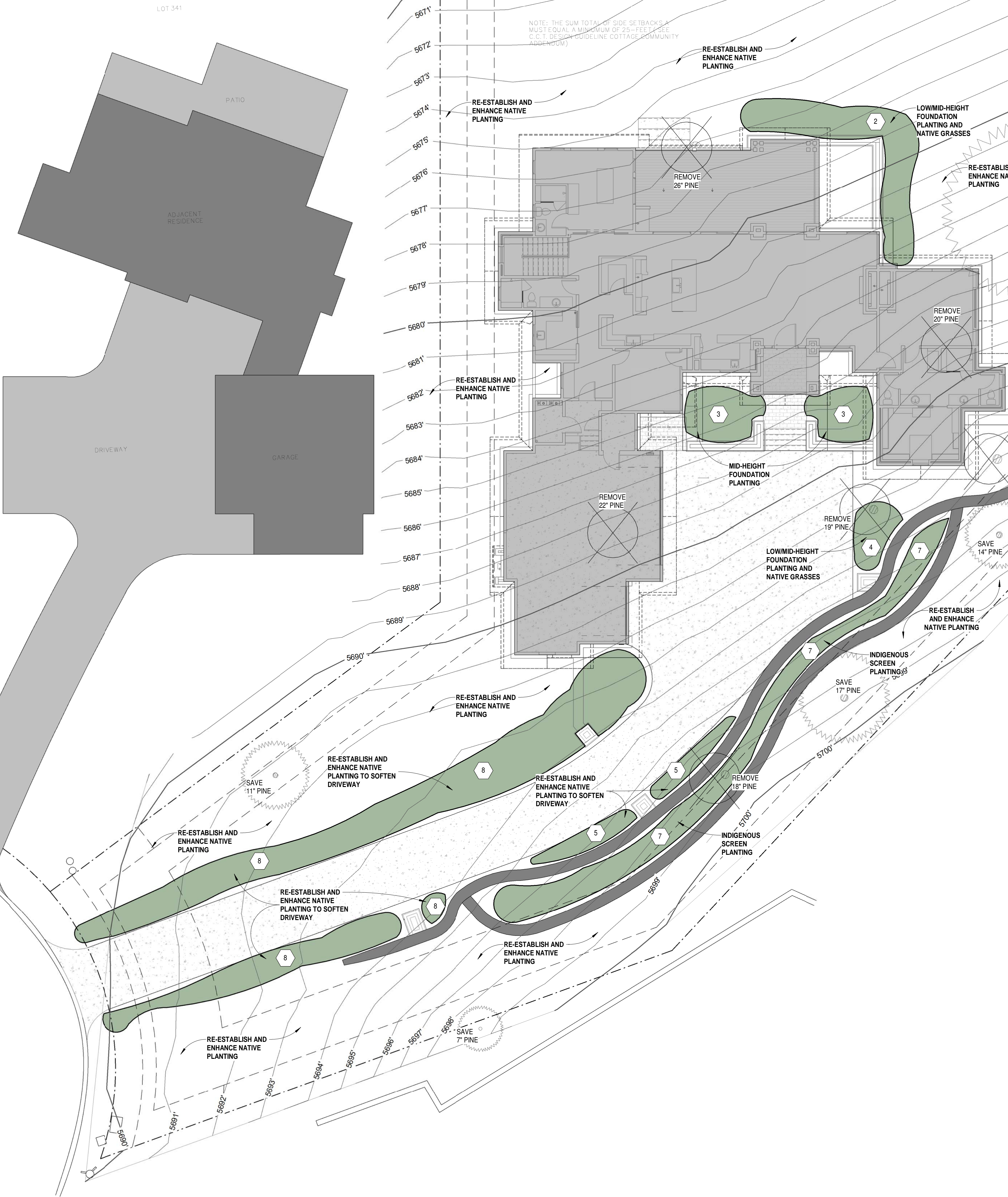
SHEET:

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SEE CIVIL PLANS FOR ALL GRADING, DRAINAGE,
AND EROSION CONTROL INFORMATION.

PLANTING AREAS:

COMMON NAME	SCIENTIFIC NAME	SIZE
1. ASPEN	POPULUS TREMULOIDES	2' SEEDLING
INDIAN CECILIAR	ACHATNA HEERMANNIENDES	15' POT
ALPINE ASTER		
2. INDIAN CECILIAR	ACHATNA HEERMANNIENDES	1' POT
ALPINE ASTER	ASTER ALPAGENSIS	2'5" POT
3. BLUE GATARRASS	HELIOTROPIS SCHEPERSVIRENS	1' DEEP POT
BLUEBERRY		2' DEEP POT
APACHE PLUME	HELIOTROPIS PARADOXA	1' DEEP POT
4. SEDGE	CAREX SP.	3' POT
APACHE PLUME	HELIOTROPIS PARADOXA	1' DEEP POT
SERRA CURRANT	BRIBONIA VANDENSE	1' GALLON
5. MOUNTAIN BROOME	BRIBONIA GARNATUS	1' TUG
BLUE BILLY	HELIOTROPIS PARADOXA	1' TUG
ALPINE ASTER	ASTER ALPAGENSIS	15' POT
BROCKWORTH	HELIOTROPIS PARADOXA	1' TUG
6. BLUE FESCUE	FESTUCA DACHENSEN	1' DEEP POT
SHREEFSBURG COVAR	FESTUCA OVINA	1' QUART
	OROGALIS OVINA	1' TUG
7. BUFFALO BERRY	SHEPHERDIA ARGENTEA	1' GALLON
APACHE PLUME	FALLURGIA PARADOXA	1' DEEP POT
8. BROADLEAF PLUME	URNIS LATIFOLUS	1' GALLON
BLUE BILLY	TRIS GRACILIS	1' TUG
9. LAVENDER	CARDE	1' POT
	CAVENDISH SPR.	1' DEEP POT





REAR PERSPECTIVE



FRONT PERSPECTIVE

STRATEGIC
PROPERTIES
GROUP, LLC.

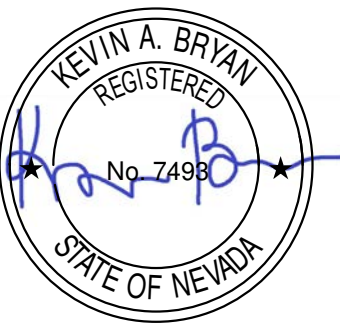
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

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REVISIONS:

- 1.
- 2.
- 3.



PERSPECTIVES

SCALE: N.T.S.
DATE: MAR. 29, 2024
JOB: 21051
SHEET:

A1.3

PROJECT KEYNOTES:

- 1a. SINK - UNDERMOUNT W/ DISPOSAL AND DECK MOUNT FAUCETRY
1b. SINK - UNDERMOUNT W/ DECK MOUNT FAUCETRY
2. FULL STONE VENEER - PROVIDE VERTICAL SUPPORT PER MNFR.
3a. LOW FLUSH WATERCLOSET
3b. LOW FLUSH WATERCLOSET W/ WASHLET - PROVIDE POWER
4a. SHEET MIRROR APPLIED TO WALL, CORNER TO CORNER
4b. MIRROR BY OWNER
4c. 3/8" FRAMELESS GLASS ENCLOSURE
5. RECESSED TILE NICHE IN WALL
6. +18" TILE SEAT - SLOPE TO DRAIN
7a. TILE SHOWER - 4" HT. CURB. SEE PLANS FOR SIZE.
7b. TILE WALLS FULL HT. TO CEILING.
7c. TILE SHOWER - NO CURB. PROVIDE LINEAR DRAIN AS SHOWN.
7d. SEE PLANS FOR SIZE. TILE WALLS FULL HT. TO CEILING.
7e. TILE SHOWER - TUBSHOWER. TILE WALLS FULL HT. TO CEILING
8. NOT USED
9. TANKLESS GAS DOMESTIC WATER HEATER WITH RECIRC PUMP SYSTEM - SEE ENERGY CALCULATIONS FOR SPECIFICATIONS.

- 10a. RAIL - 36" HT. CONTINUOUS HAND RAILING
10b. RAIL - 42" HT. DECO CABLE GUARD RAILING
10c. RAIL - 36" HT. DECO CABLE GUARD RAILING W/ HANDRAIL
11a. MECHANICAL - A/C UNIT CONDENSER ON PAD BY MANUFACTURER
11b. MECHANICAL - GAS FORCED AIR UNIT
11c. MECHANICAL - WINE CONDITIONING UNIT
11d. MECHANICAL - FIRE RISER
12. CONC. SCREEN WALL W/FULL STONE VENEER AND STONE CAP.
13a. UTILITY - MAIN WATER SERVICE WITH SHUT OFF VALVE
13b. UTILITY - MAIN ELECTRICAL SERVICE - VERIFY LOCATION IN FIELD.
13c. RECESSED PANEL WITH WOOD COVER AND HANDLE
13d. UTILITY - GAS METER - VERIFY LOCATION IN FIELD
14. PROVIDE 5/8" TYPE 'X' GYP BD. - WALLS AND CLG.
15a. DOORS - 1 3/8" MIN. THICK. SOLID CORE DOOR WITH SELF CLOSER
15b. DOORS - SIZE SHOWN IS NET OPENING SIZE. OVERSIZE BARN DOORS AS REQUIRED. PROVIDE SOLID BLOCKING IN WALL FOR TRACK MOUNTING.

- 16a. BUILT-IN CABINETRY - BASE
16b. BUILT-IN CABINETRY - UPPER CAB.
16c. BUILT-IN CABINETRY - CLOSET POLE/SHELF
16d. BUILT-IN CABINETRY - CLOSET DOUBLE POLE/SHELF
16e. BUILT-IN CABINETRY - ADJUSTABLE SHELVING
16f. BUILT-IN CABINETRY - PANTRY SHELVING
16g. BUILT-IN CABINETRY - TALL CABINET W/ SHELVING
16h. BUILT-IN CABINETRY - KNEE SPACE UNDER COUNTER
16i. BUILT-IN CABINETRY - BENCH +20"
16j. BUILT-IN CABINETRY - BASE WITH OPEN SHELVING
16k. BUILT-IN CABINETRY - WINE RACK
16l. BUILT-IN CABINETRY - FIXED SHELVING
16m. BUILT-IN CABINETRY - HOOKS - VERIFY WITH OWNER
17a. COUNTER - QUARTZ
17b. COUNTER - TILE
17c. COUNTER - WATERFALL EDGE
18a. SPLASH - STONE SLAB
18b. SPLASH - TILE
19a. NO SPLASH
19b. ACCESSORY - TOWEL BAR. PROVIDE BLOCKING AS REQUIRED
19c. ACCESSORY - MAKE UP MIRROR - PROVIDE WIRING/POWER
19d. ACCESSORY - RECESSED MEDICINE CABINET - PROVIDE POWER

- 20a. APPLIANCE - 24" DISHWASHER - PROV. AIRGAP AT SINK
20b. APPLIANCE - 48" STAINLESS STEEL GAS COOKTOP W/ CUSTOM METAL EXHAUST HOOD
20c. APPLIANCE - 24" MICROWAVE DRAWER
20d. APPLIANCE - 24" UNDER COUNTER REFRIGERATOR
20e. APPLIANCE - 48" BUILT-IN REFRIGERATOR - PROVIDE WATER LINE
20f. APPLIANCE - STACKED WASHER SPACE - PROVIDE HOOKUPS AND DRAIN
20g. APPLIANCE - STACKED DRYER SPACE - VENT TO EXTERIOR
20h. APPLIANCE - 30" DOUBLE WALL OVENS
20i. APPLIANCE - 30" WARMING DRAWER
21. CONCRETE CONTROL JOINT
22. HOSE BIB W/BACKFLOW PREVENTION DEVICE AND FREEZE PROTECTION
23. NOT USED.

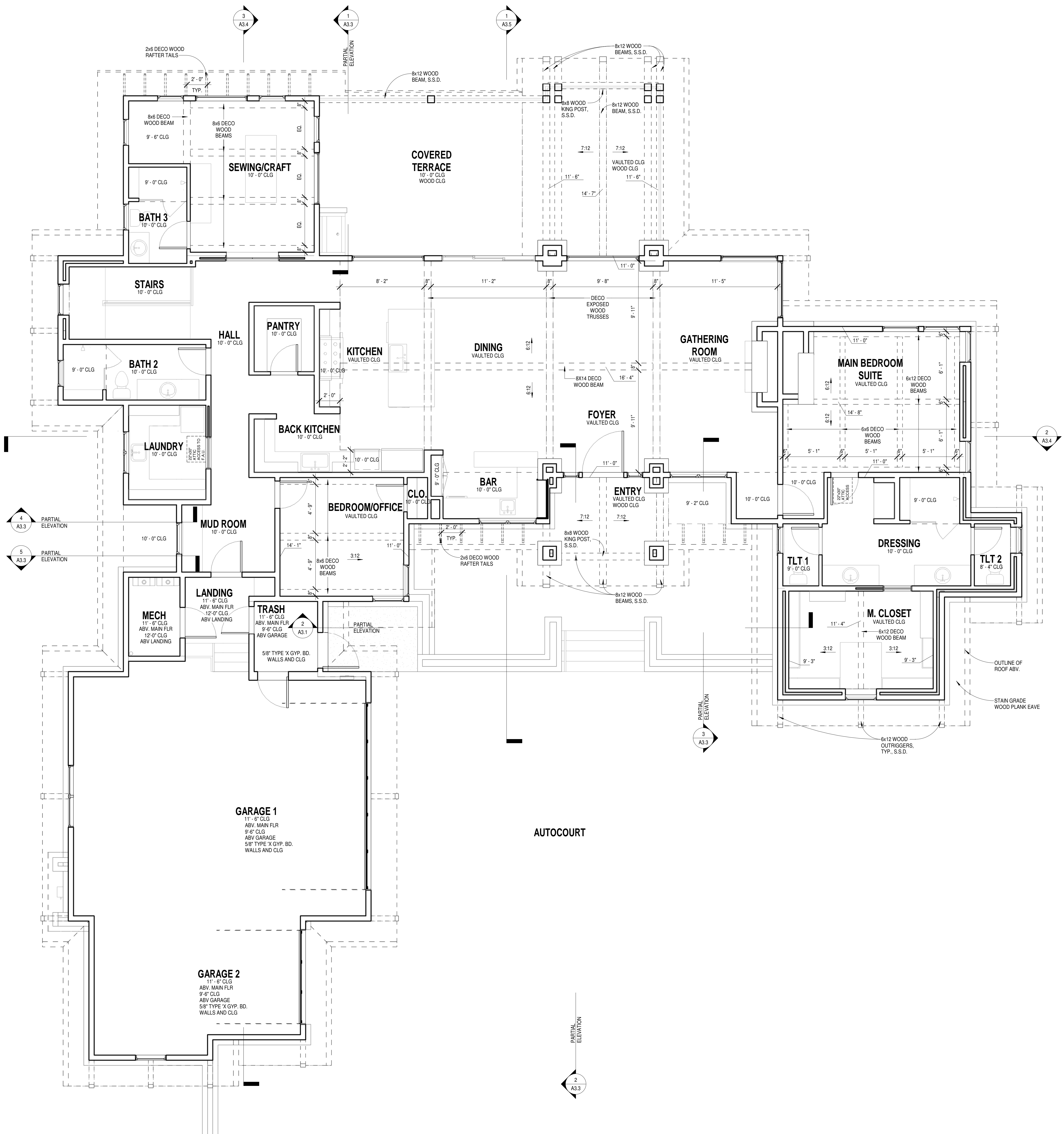
24. PRE-FAB GAS FIREPLACE UNIT. VERIFY UNIT SELECTION IN FIELD. UNIT SELECTED TO BE APPROVED FOR INSTALL IN NEVADA. INSTALL PER INSTRUCTIONS. COORDINATE MATERIAL CLEARANCES AT FIREPLACE. HEARTH, MANTEL, AND SURROUND DESIGN WITH OWNER.
25. GRILL: 3/5" MTL. STUD WALLS WITH STONE VENEER AT OUTSIDE FACE. +36" SOLID STONE SLAB COUNTERTOP W/ 1 1/2" THICK SQ. EDGE. INSTALL 42" GAS GRILL WITH STAINLESS STEEL ACCESS DOOR BELOW. PROVIDE STAINLESS STEEL EXHAUST FAN AT GRILL.
26. MOUNT FIXTURE WATER SUPPLY IN FLOOR-NOT WALL-TO AVOID FREEZING.
27. ALUMINUM FRAME WINDOWS
28. ACCESS PANEL NOT FOR PEDESTRIAN USE. SILL TO BE MINIMUM 24" ABV. HIGHEST ADJACENT FLOOR. VERIFY HEIGHT W/OWNER.
29. BEAR-RESISTANT TRASH ENCLOSURE: METAL DOOR AND FRAME WALLS CLAD IN STONE. NO WINDOWS. DEADBOLT TO FACE EXTERIOR, KEY TO FACE INTERIOR. INSIDE FINISHED WITH SHEETROCK. WEATHERSTRIPPING. AND PAINT. CONCRETE SLAB FLOOR. SEPARATED FROM LIVING SPACE. GARBAGE STORED IN STURDY, AIRTIGHT CONTAINERS WITH TIGHT FITTING LIDS. ALL DOORS AND ACCESS PANELS TO TRASH ROOMS TO HAVE DEADBOLT LOCKS.

30. BATH 1: 6" x 8" WIN. HT. 10' x 11' 1/2" (10a, 10b, 10c, 10d, 10e, 10f, 10g, 10h, 10i, 10j, 10k, 10l, 10m, 10n, 10o, 10p, 10q, 10r, 10s, 10t, 10u, 10v, 10w, 10x, 10y, 10z, 11a, 11b, 11c, 11d, 11e, 11f, 11g, 11h, 11i, 11j, 11k, 11l, 11m, 11n, 11o, 11p, 11q, 11r, 11s, 11t, 11u, 11v, 11w, 11x, 11y, 11z, 12a, 12b, 12c, 12d, 12e, 12f, 12g, 12h, 12i, 12j, 12k, 12l, 12m, 12n, 12o, 12p, 12q, 12r, 12s, 12t, 12u, 12v, 12w, 12x, 12y, 12z, 13a, 13b, 13c, 13d, 13e, 13f, 13g, 13h, 13i, 13j, 13k, 13l, 13m, 13n, 13o, 13p, 13q, 13r, 13s, 13t, 13u, 13v, 13w, 13x, 13y, 13z, 14a, 14b, 14c, 14d, 14e, 14f, 14g, 14h, 14i, 14j, 14k, 14l, 14m, 14n, 14o, 14p, 14q, 14r, 14s, 14t, 14u, 14v, 14w, 14x, 14y, 14z, 15a, 15b, 15c, 15d, 15e, 15f, 15g, 15h, 15i, 15j, 15k, 15l, 15m, 15n, 15o, 15p, 15q, 15r, 15s, 15t, 15u, 15v, 15w, 15x, 15y, 15z, 16a, 16b, 16c, 16d, 16e, 16f, 16g, 16h, 16i, 16j, 16k, 16l, 16m, 16n, 16o, 16p, 16q, 16r, 16s, 16t, 16u, 16v, 16w, 16x, 16y, 16z, 17a, 17b, 17c, 17d, 17e, 17f, 17g, 17h, 17i, 17j, 17k, 17l, 17m, 17n, 17o, 17p, 17q, 17r, 17s, 17t, 17u, 17v, 17w, 17x, 17y, 17z, 18a, 18b, 18c, 18d, 18e, 18f, 18g, 18h, 18i, 18j, 18k, 18l, 18m, 18n, 18o, 18p, 18q, 18r, 18s, 18t, 18u, 18v, 18w, 18x, 18y, 18z, 19a, 19b, 19c, 19d, 19e, 19f, 19g, 19h, 19i, 19j, 19k, 19l, 19m, 19n, 19o, 19p, 19q, 19r, 19s, 19t, 19u, 19v, 19w, 19x, 19y, 19z, 20a, 20b, 20c, 20d, 20e, 20f, 20g, 20h, 20i, 20j, 20k, 20l, 20m, 20n, 20o, 20p, 20q, 20r, 20s, 20t, 20u, 20v, 20w, 20x, 20y, 20z, 21a, 21b, 21c, 21d, 21e, 21f, 21g, 21h, 21i, 21j, 21k, 21l, 21m, 21n, 21o, 21p, 21q, 21r, 21s, 21t, 21u, 21v, 21w, 21x, 21y, 21z, 22a, 22b, 22c, 22d, 22e, 22f, 22g, 22h, 22i, 22j, 22k, 22l, 22m, 22n, 22o, 22p, 22q, 22r, 22s, 22t, 22u, 22v, 22w, 22x, 22y, 22z, 23a, 23b, 23c, 23d, 23e, 23f, 23g, 23h, 23i, 23j, 23k, 23l, 23m, 23n, 23o, 23p, 23q, 23r, 23s, 23t, 23u, 23v, 23w, 23x, 23y, 23z, 24a, 24b, 24c, 24d, 24e, 24f, 24g, 24h, 24i, 24j, 24k, 24l, 24m, 24n, 24o, 24p, 24q, 24r, 24s, 24t, 24u, 24v, 24w, 24x, 24y, 24z, 25a, 25b, 25c, 25d, 25e, 25f, 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STRATEGIC
PROPERTIES
GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:



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REVISIONS:



MAIN FLOOR REFL. CLG. PLAN

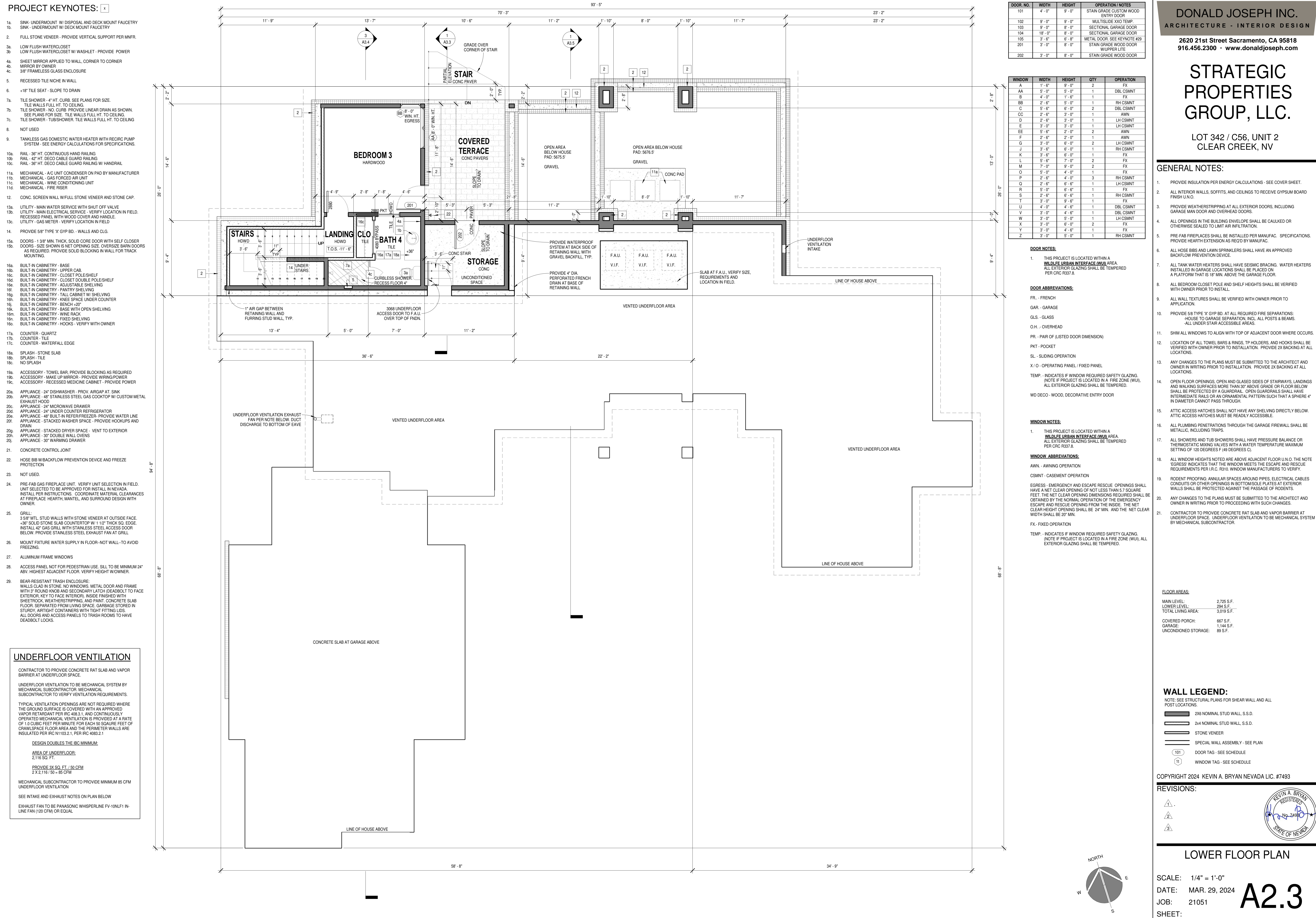
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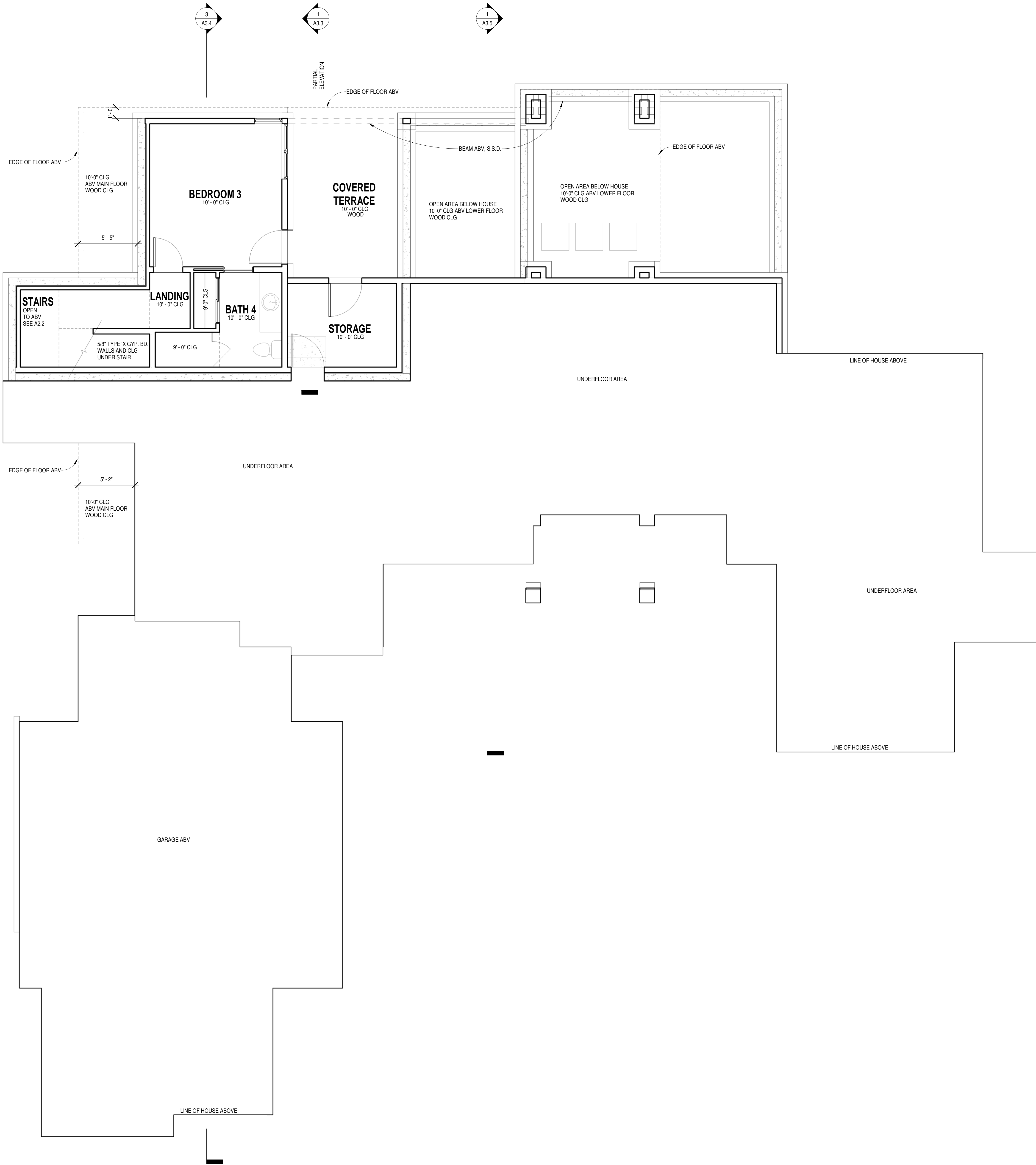
DATE: MAR. 29, 2024

JOB: 21051

SHEET:

A2.2





STRATEGIC
PROPERTIES
GROUP, LLC.

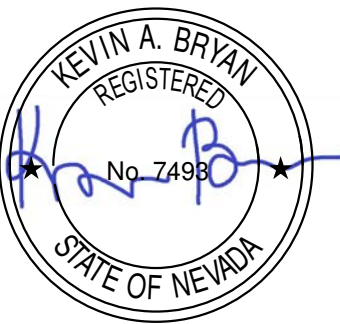
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

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REVISIONS:

- 1.
- 2.
- 3.



LOWER FLOOR REFL. CLG.
PLAN

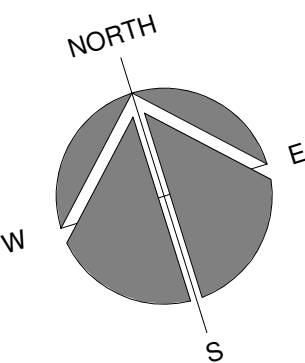
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JOB: 21051

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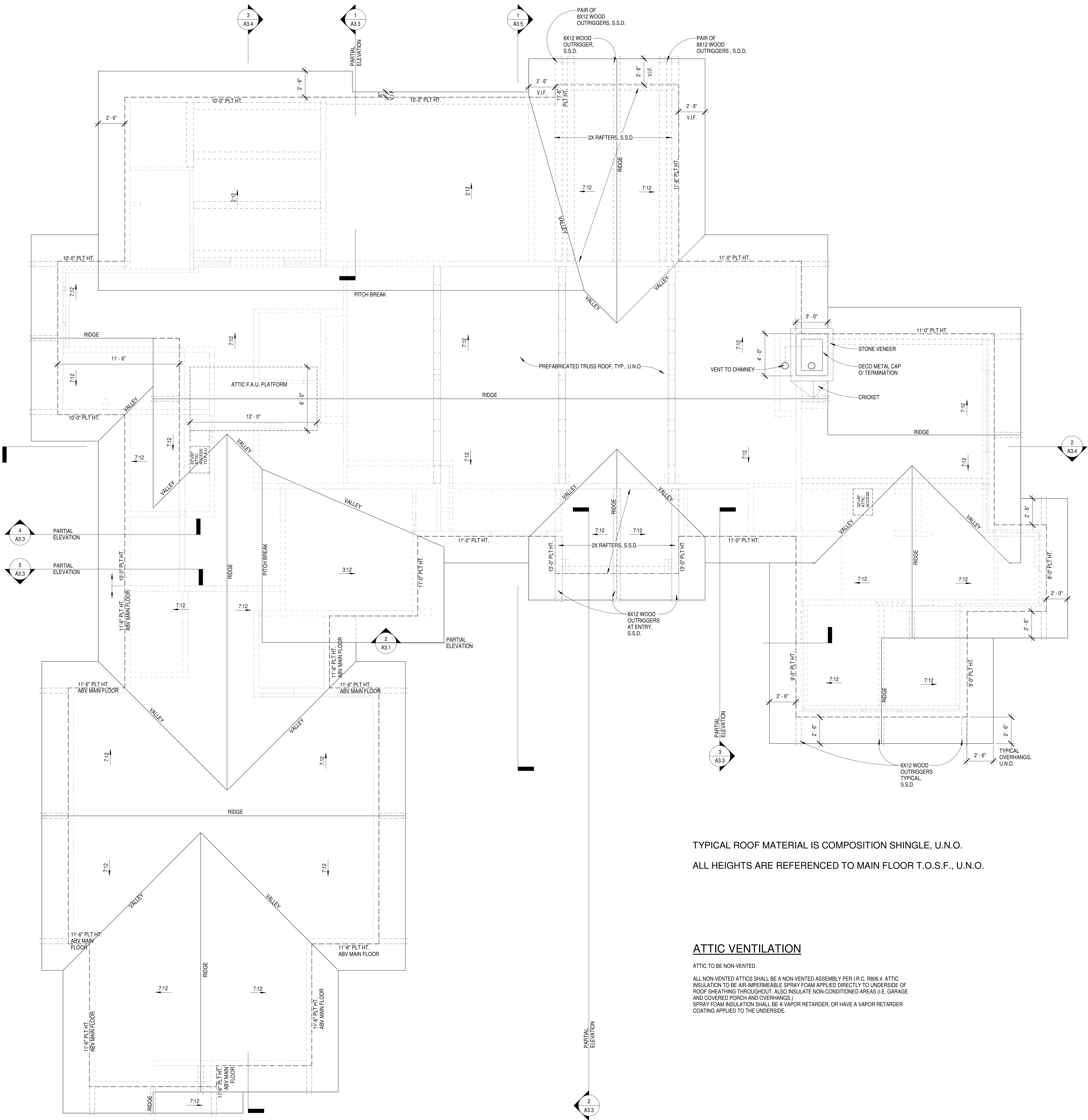


STRATEGIC
PROPERTIES
GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

- ROOFING SHALL BE **COMPOSITION SHINGLE** TYPE OVER **2 LAYERS ICE AND WATER SHIELD** UNDERLAYMENT, TYPICAL.
- ALL ROOFING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CURRENT BEST PRACTICES. SUBCONTRACTOR SHALL PROVIDE ALL FLASHING AND COUNTERFLASHING AS REQUIRED.
- SEE REF. CLG PLAN FOR ALL DROPPED SOFFIT AND VAULTED CEILING CONDITIONS.
- SEE STRUCTURAL PLAN FOR ALL FRAMING CONDITIONS AND TRUSS LAYOUT.



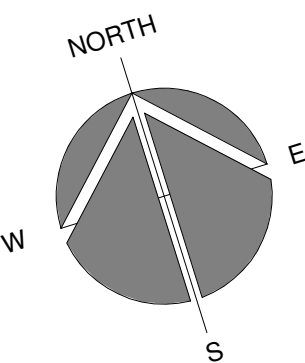
TYPICAL ROOF MATERIAL IS COMPOSITION SHINGLE, U.N.O.

ALL HEIGHTS ARE REFERENCED TO MAIN FLOOR T.O.S.F., U.N.O.

ATTIC VENTILATION

ATTIC TO BE NON-VENTED.

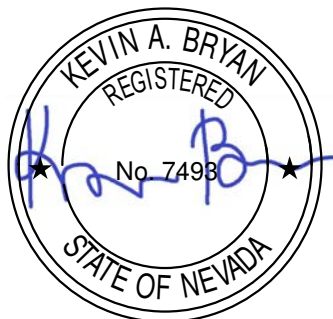
ALL NON-VENTED ATTICS SHALL BE A NON-VENTED ASSEMBLY PER I.R.C. R806.4. ATTIC INSULATION TO BE AIR-IMPERMEABLE SPRAY FOAM APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING THROUGHOUT. ALSO INSULATE NON-CONDITIONED AREAS (I.E. GARAGE AND COVERED PORCH AND OVERHANGS). SPRAY FOAM INSULATION SHALL BE A VAPOR RETARDER, OR HAVE A VAPOR RETARDER COATING APPLIED TO THE UNDERSIDE.



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REVISIONS:

- 1.
- 2.
- 3.



ROOF PLAN

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

A2.5

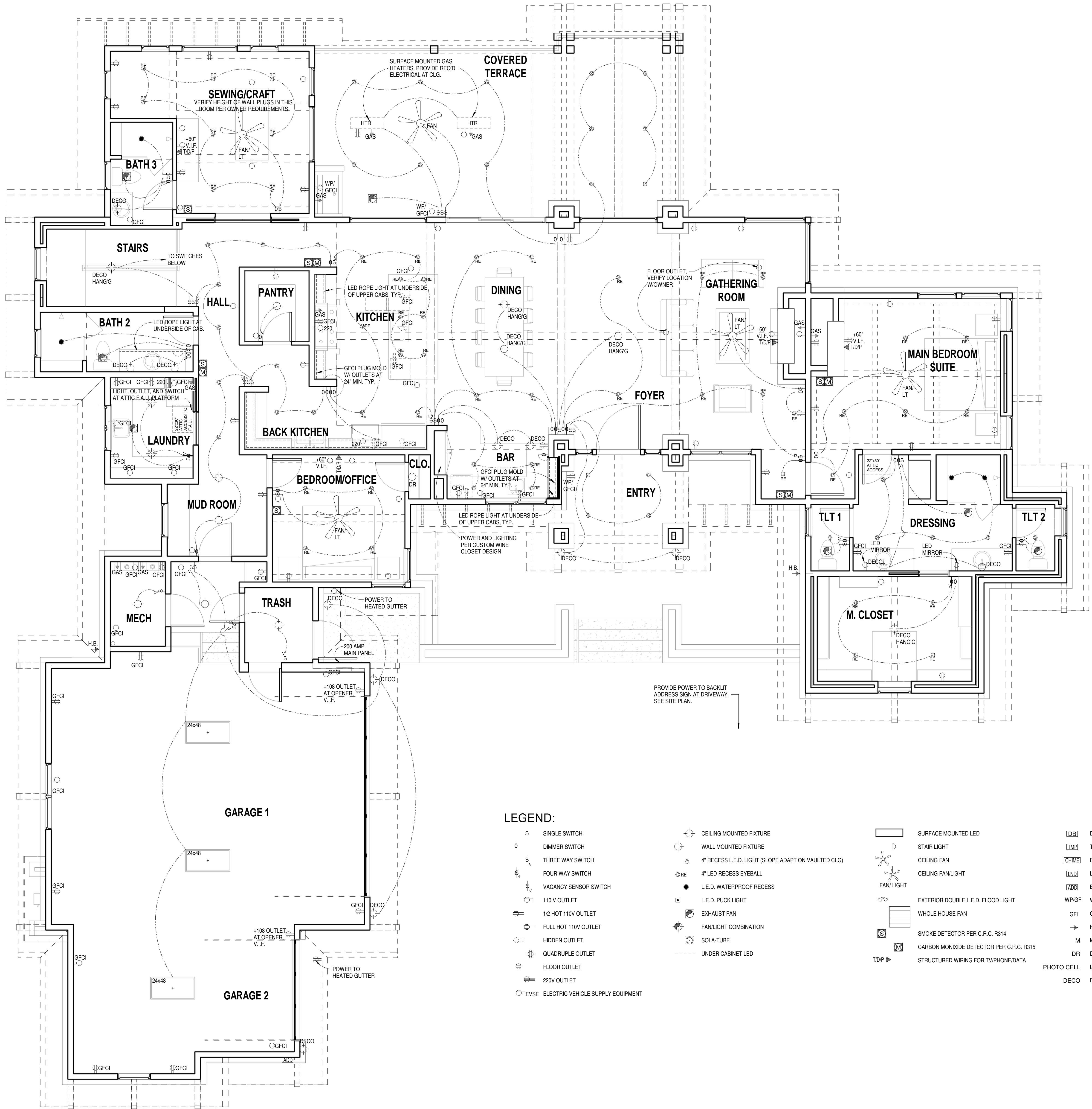
STRATEGIC PROPERTIES GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT PER I.R.C. R314 AND R315. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
- ALL WALL OUTLETS SHALL BE +16" HT. A.F.F. U.N.O. ALL COUNTER TOP OUTLETS SHALL BE +48" A.F.F. U.N.O. ALL ISLAND OUTLETS SHALL BE +58" A.F.F. U.N.O. ALL OUTLETS IN GARAGE SHALL BE +48" A.F.F. U.N.O.
- PROVIDE GFI OUTLETS AT ALL WHIRLPOOL TUBS - VERIFY PUMP LOCATIONS.
- VERIFY MAIN PANEL LOCATION AND SIZE IN FIELD.
- ALL CEILING FANS SHALL BE SUPPORTED BY APPROVED ELECTRICAL BOXES.
- ALL WORK SHALL BE PER 2018 I.R.C. AND 2017 N.E.C.
- PROVIDE TAMPER RESISTANT RECEPTACLES PER E4002.14 AT THE FOLLOWING LOCATIONS:
LOCATED WITHIN CABINETS OR CUPBOARDS, OR CONTROLLED BY A WALL SWITCH IN ACCORDANCE WITH E3903.2, EXCEPTION 1
- WHERE SWITCHES CONTROL LIGHTING LOADS SUPPLIED BY A GROUNDED GENERAL PURPOSE BRANCH CIRCUIT, THE GROUNDED CIRCUIT CONDUCTOR FOR THE CONTROLLED LIGHTING CIRCUIT SHALL BE PROVIDED AT THE SWITCH LOCATION.

EXCEPTION: THE GROUNDED CIRCUIT CONDUCTOR IS NOT REQUIRED TO BE PROVIDED AT THE SWITCH ENCLOSURE WHERE EITHER OF THE FOLLOWING CONDITIONS APPLY:
1. THE CONDUCTORS ENTER THE BOX THRU A RACEWAY. THE RACEWAY SHALL HAVE A SUFFICIENT CROSS SECTIONAL AREA TO ACCOMMODATE THE EXTENSION OF THE GROUNDED CIRCUIT CONDUCTOR OF THE LIGHTING CIRCUIT TO THE SWITCH LOCATION WHETHER OR NOT THE CONDUCTORS IN THE RACEWAY ARE REQUIRED TO BE INCREASED IN SIZE TO COMPLY WITH SECTION E3705.3.
2. CABLE ASSEMBLIES ENTER THE BOX THRU A FRAMING CAVITY THAT IS OPEN AT THE TOP OR BOTTOM ON THE SAME FLOOR LEVEL, OR THROUGH A WALL, FLOOR, OR CEILING THAT IS UNFINISHED ON ONE SIDE.



LEGEND:

- SINGLE SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- VACANCY SENSOR SWITCH
- 110 V OUTLET
- 1/2 HOT 110V OUTLET
- 1/2 HOT 110V OUTLET
- HIDDEN OUTLET
- QUADRUPLE OUTLET
- FLOOR OUTLET
- 220V OUTLET
- EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- 4" RECESS L.E.D. LIGHT (SLOPE ADAPT ON VAULTED CLG)
- 4" LED RECESS EYEBALL
- L.E.D. WATERPROOF RECESS
- L.E.D. PUCK LIGHT
- EXHAUST FAN
- FAN/LIGHT COMBINATION
- SOLA-TUBE
- UNDER CABINET LED

- SURFACE MOUNTED LED
- STAIR LIGHT
- CEILING FAN
- CEILING FAN/LIGHT
- FAN LIGHT
- EXTERIOR DOUBLE L.E.D. FLOOD LIGHT
- WHOLE HOUSE FAN
- SMOKE DETECTOR PER C.R.C. R314
- CARBON MONOXIDE DETECTOR PER C.R.C. R315
- STRUCTURED WIRING FOR TV/PHONE/DATA

- DOOR BELL
- THERMOSTAT CONTROL
- DOOR CHIME
- LANDSCAPE IRRIGATION CONTROL
- BACKLIT ADDRESS SIGN - PROVIDE POWER
- WEATHERPROOF/GROUND FAULT CIRCUIT INTERRUPT
- GROUND FAULT CIRCUIT INTERRUPT (GFI)
- HOSE BIB
- MOTION ACTIVATED
- DOOR ACTIVATED
- PHOTO CELL
- LOW LIGHT ACTIVATED FIXTURE
- DECORATIVE FIXTURE

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REVISIONS:

- 1.
- 2.
- 3.



MAIN FLOOR ELEC. PLAN

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

A2.6

STRATEGIC PROPERTIES GROUP, LLC.

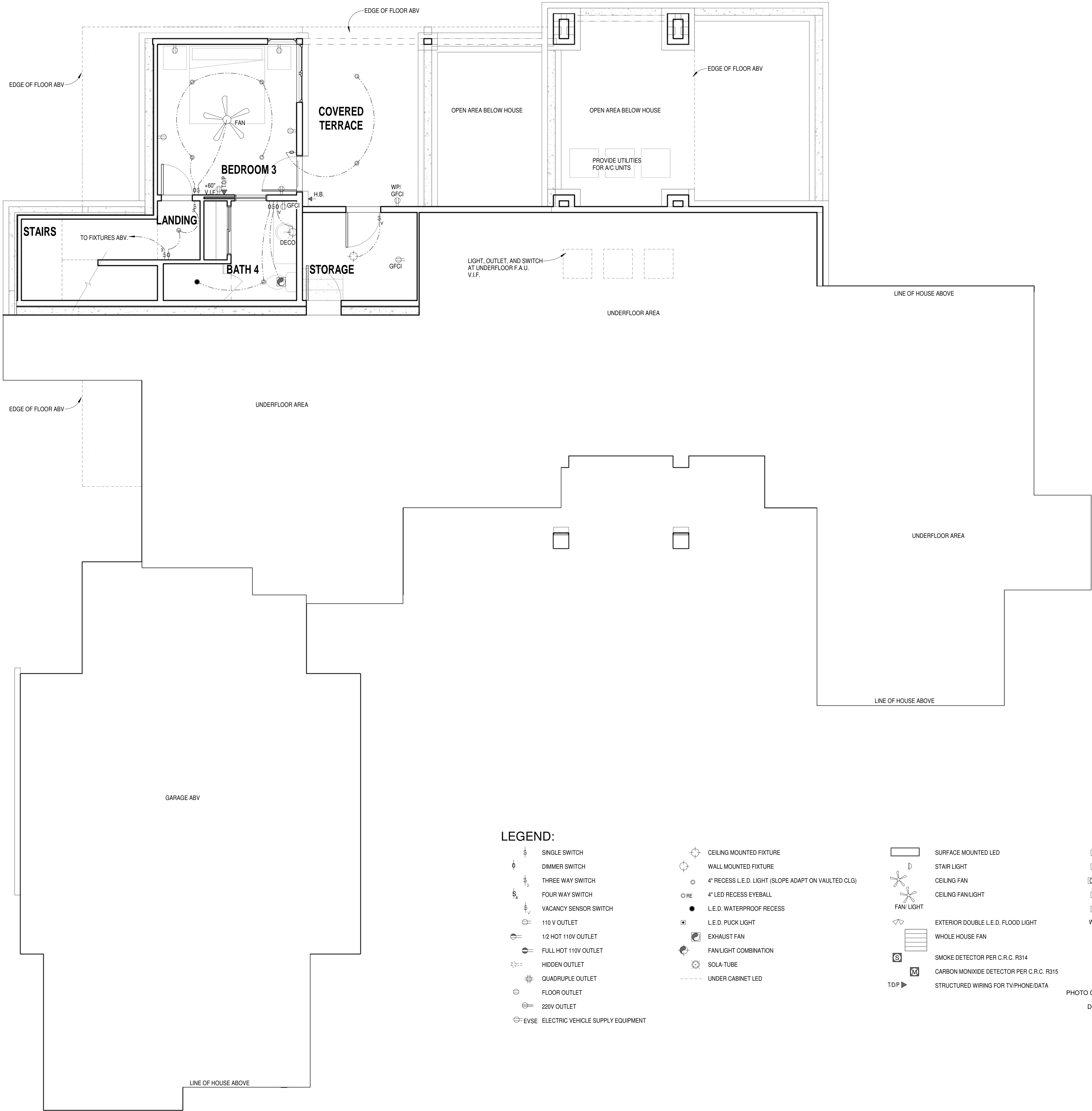
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT PER I.R.C. R314 AND R315. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
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- PROVIDE GFI OUTLETS AT ALL WHIRLPOOL TUBS - VERIFY PUMP LOCATIONS.
- VERIFY MAIN PANEL LOCATION AND SIZE IN FIELD.
- ALL CEILING FANS SHALL BE SUPPORTED BY APPROVED ELECTRICAL BOXES.
- ALL WORK SHALL BE PER 2018 I.R.C. AND 2017 N.E.C.
- PROVIDE TAMPER RESISTANT RECEPTACLES PER E4002.14 AT THE FOLLOWING LOCATIONS:
LOCATED WITHIN CABINETS OR CUPBOARDS, OR CONTROLLED BY A WALL SWITCH IN ACCORDANCE WITH E3903.2, EXCEPTION 1
- WHERE SWITCHES CONTROL LIGHTING LOADS SUPPLIED BY A GROUNDED GENERAL PURPOSE BRANCH CIRCUIT, THE GROUNDED CIRCUIT CONDUCTOR FOR THE CONTROLLED LIGHTING CIRCUIT SHALL BE PROVIDED AT THE SWITCH LOCATION.

EXCEPTION: THE GROUNDED CIRCUIT CONDUCTOR IS NOT REQUIRED TO BE PROVIDED AT THE SWITCH ENCLOSURE WHERE EITHER OF THE FOLLOWING CONDITIONS APPLY:

- THE CONDUCTORS ENTER THE BOX THRU A RACEWAY. THE RACEWAY SHALL HAVE A SUFFICIENT CROSS SECTIONAL AREA TO ACCOMMODATE THE EXTENSION OF THE GROUNDED CIRCUIT CONDUCTOR OF THE LIGHTING CIRCUIT TO THE SWITCH LOCATION WHETHER OR NOT THE CONDUCTORS IN THE RACEWAY ARE REQUIRED TO BE INCREASED IN SIZE TO COMPLY WITH SECTION E3705.3.
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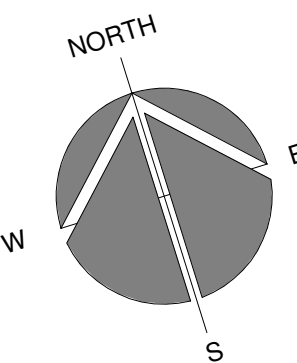
LEGEND:

- SINGLE SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- VACANCY SENSOR SWITCH
- 110 V OUTLET
- 1/2 HOT 110V OUTLET
- FULL HOT 110V OUTLET
- HIDDEN OUTLET
- QUADRUPLE OUTLET
- FLOOR OUTLET
- 220V OUTLET
- EVSE - ELECTRIC VEHICLE SUPPLY EQUIPMENT

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- 4" RECESS L.E.D. LIGHT (SLOPE ADAPT ON VAULTED CLG)
- 4" LED RECESS EYEBALL
- L.E.D. WATERPROOF RECESS
- L.E.D. PUCK LIGHT
- EXHAUST FAN
- FAN/LIGHT COMBINATION
- SOLA-TUBE
- UNDER CABINET LED

- SURFACE MOUNTED LED
- STAIR LIGHT
- CEILING FAN
- CEILING FAN/LIGHT
- FAN LIGHT
- EXTERIOR DOUBLE L.E.D. FLOOD LIGHT
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- SMOKE DETECTOR PER C.R.C. R314
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- DOOR BELL
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- LANDSCAPE IRRIGATION CONTROL
- BACKLIT ADDRESS SIGN - PROVIDE POWER
- WEATHERPROOF/GROUND FAULT CIRCUIT INTERRUPT
- GROUND FAULT CIRCUIT INTERRUPT (GFI)
- HOSE BIB
- MOTION ACTIVATED
- DOOR ACTIVATED
- LOW LIGHT ACTIVATED FIXTURE
- DECORATIVE FIXTURE



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REVISIONS:

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-
-



LOWER FLOOR ELEC. PLAN

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

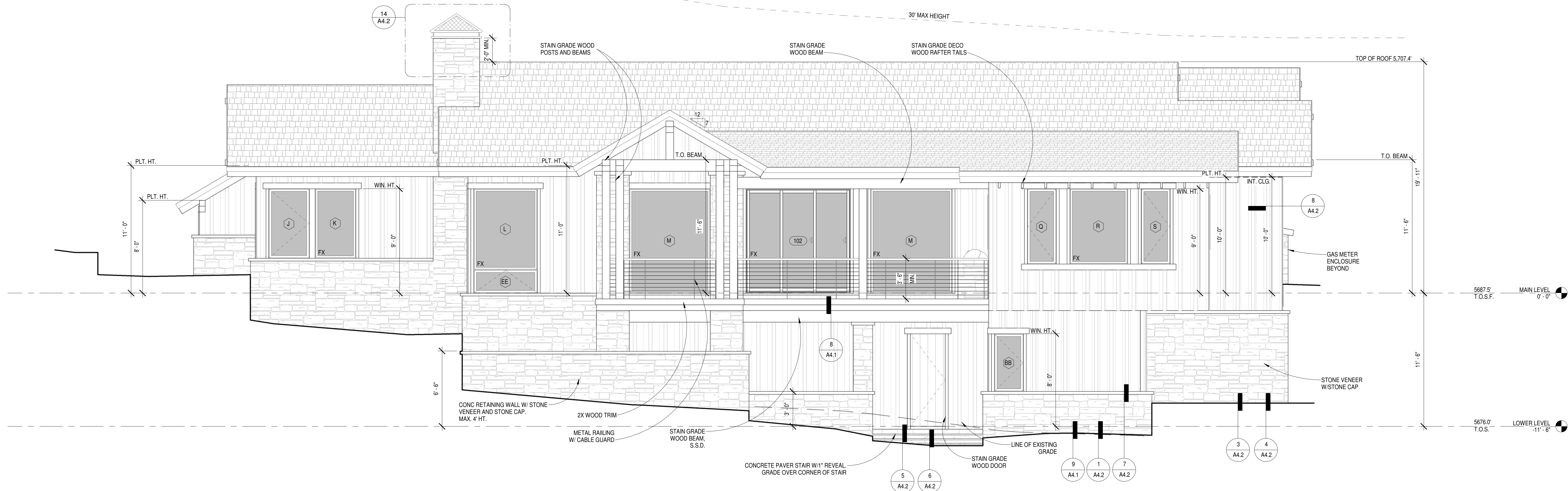
A2.7

STRATEGIC PROPERTIES GROUP, LLC.

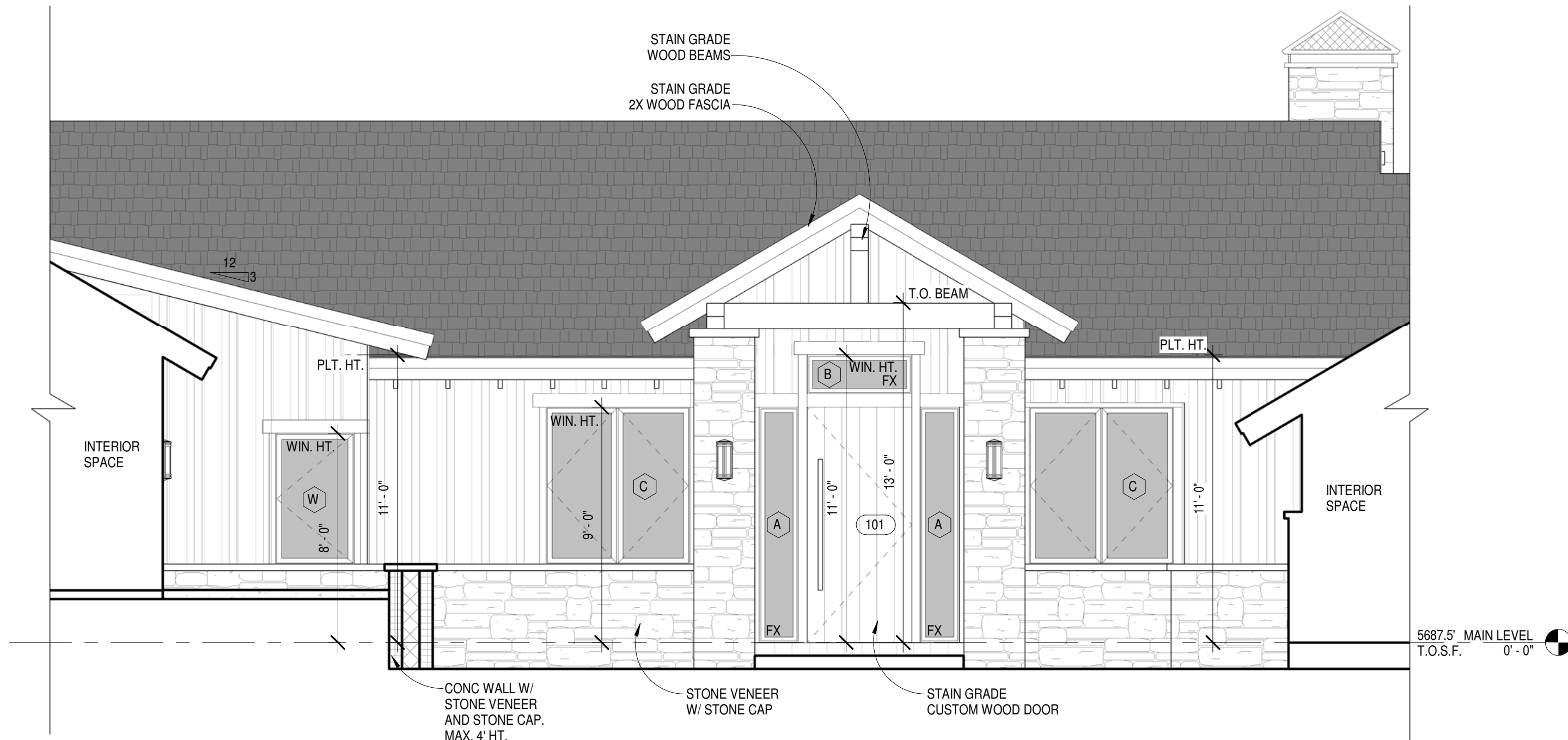
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

ELEVATION NOTES

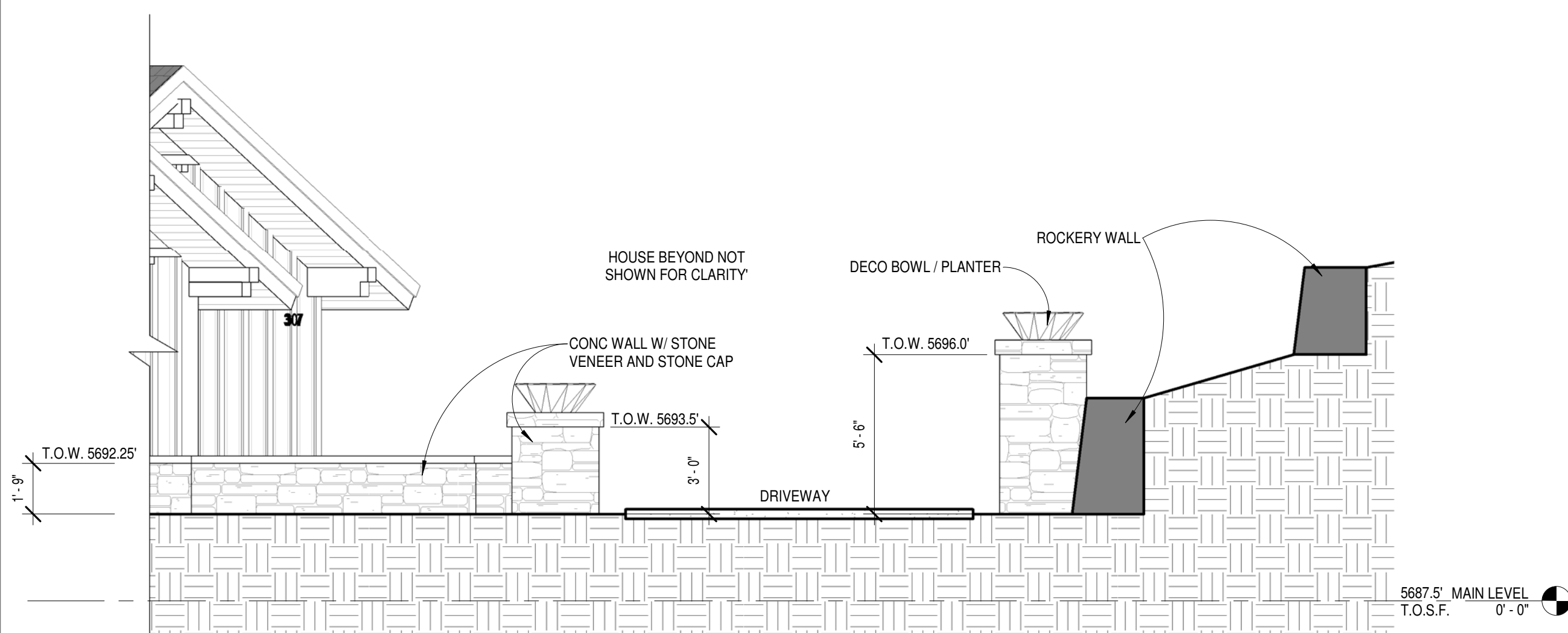
- ROOFING SHALL BE: COMPOSITION SHINGLE, TYP.
PROVIDE ICE AND WATER SHIELD UNDERLAYMENT.
- INSTALL PRODUCT PER MANUFAC. SPECIFICATIONS AND PROVIDE ALL FLASHING AS REQUIRED. SEE COVER SHEET FOR ADDITIONAL INFO ON WILDFIRE ROMNTS. SEE PROJECT COLOR BOARD FOR PATTERN & COLOR.
- EXTERIOR FINISH SHALL BE: VERTICAL WOOD LAP SIDING.
PROVIDE UNDERLAYMENT PER MANUFACTURER'S SPECIFICATIONS. SEE PROJECT COLOR BOARD FOR SPECIES AND STAIN.
- EXTERIOR WINDOWS TO BE: ALUMINUM CLAD WOOD.
MANUFACTURER: TBD
GLAZING: CLEAR DUAL PANE INSULATED, LOW-E
- EXTERIOR FRENCHSLIDING DOORS TO BE:
MANUFACTURER: MATCH WINDOWS
GLAZING: MATCH WINDOWS
- STONE VENEER TO BE A FULL STONE VENEER APPLICATION PER DETAIL SET ON TOP OF FOUNDATION MASONRY LEDGE. SEE COLOR BOARD FOR STONE VENEER PATTERN AND COLOR.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE, PER CIVIL PLANS.



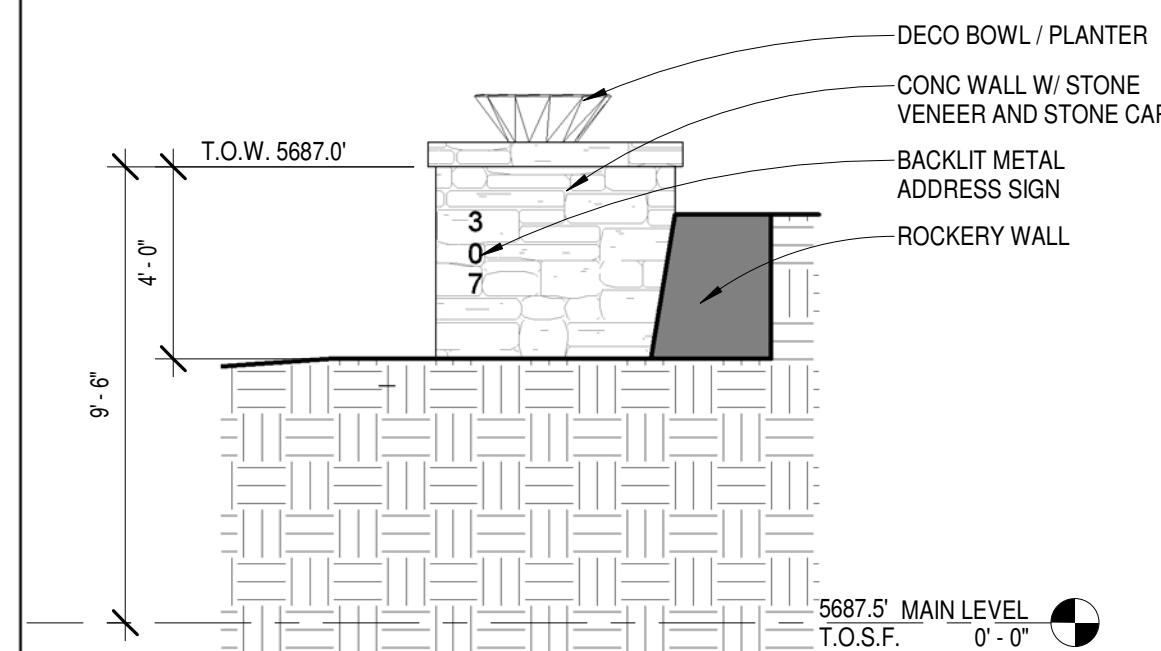
3 REAR (NORTH) ELEVATION



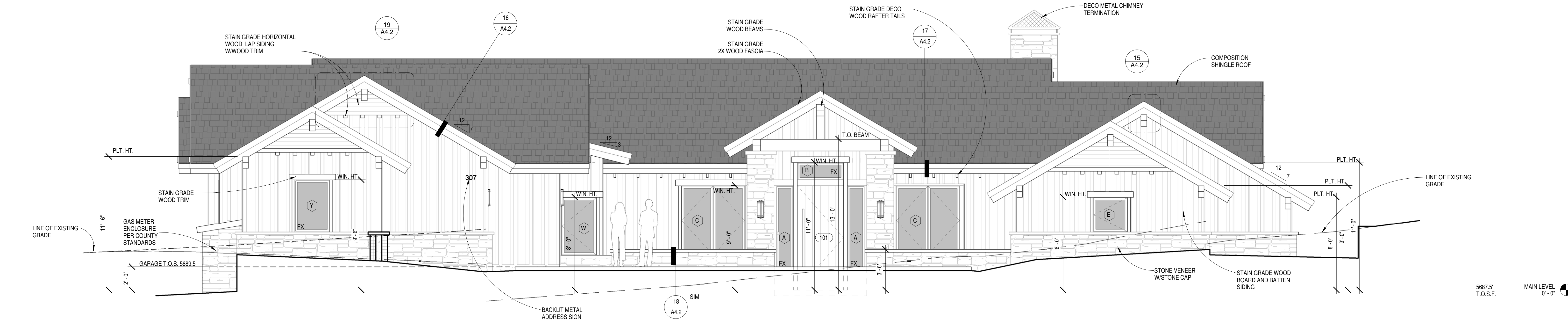
2 PARTIAL FRONT (SOUTH) ELEVATION



5 STONE WALL AT DRIVEWAY



4 STONE WALL AT DRIVEWAY



1 FRONT (SOUTH) ELEVATION

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REVISIONS:

- 1
- 2
- 3



EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

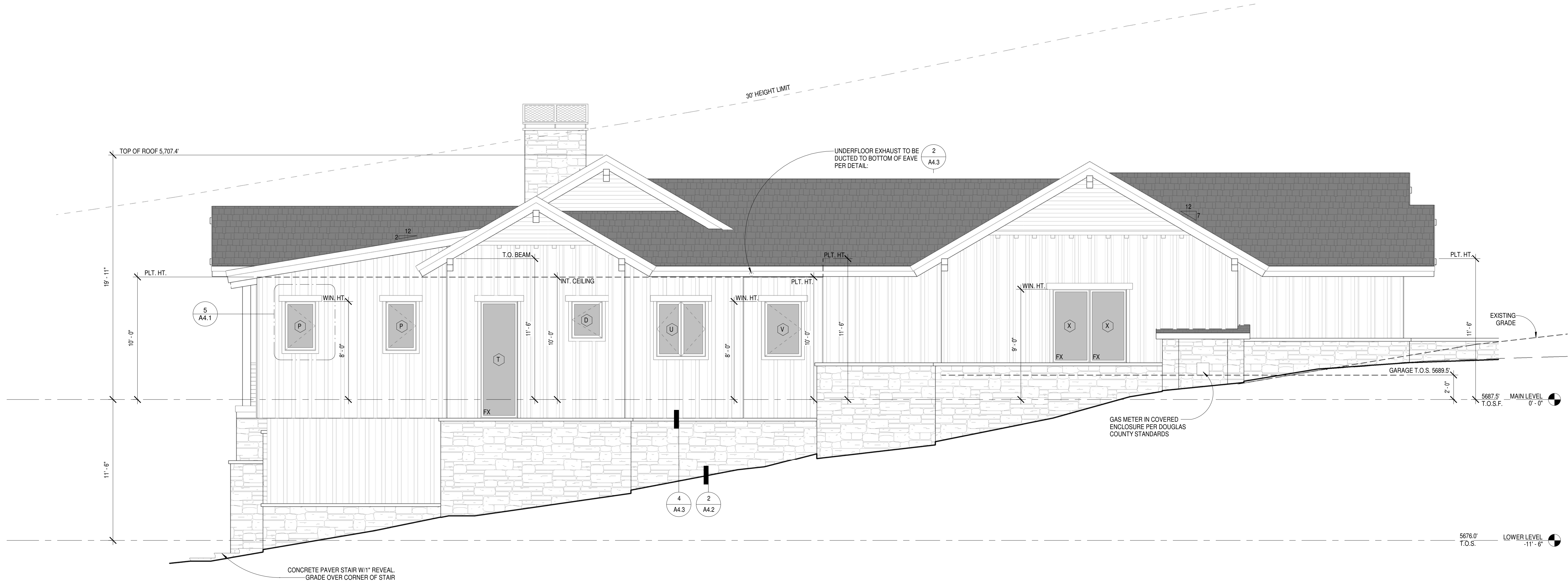
A3.1

STRATEGIC
PROPERTIES
GROUP, LLC.

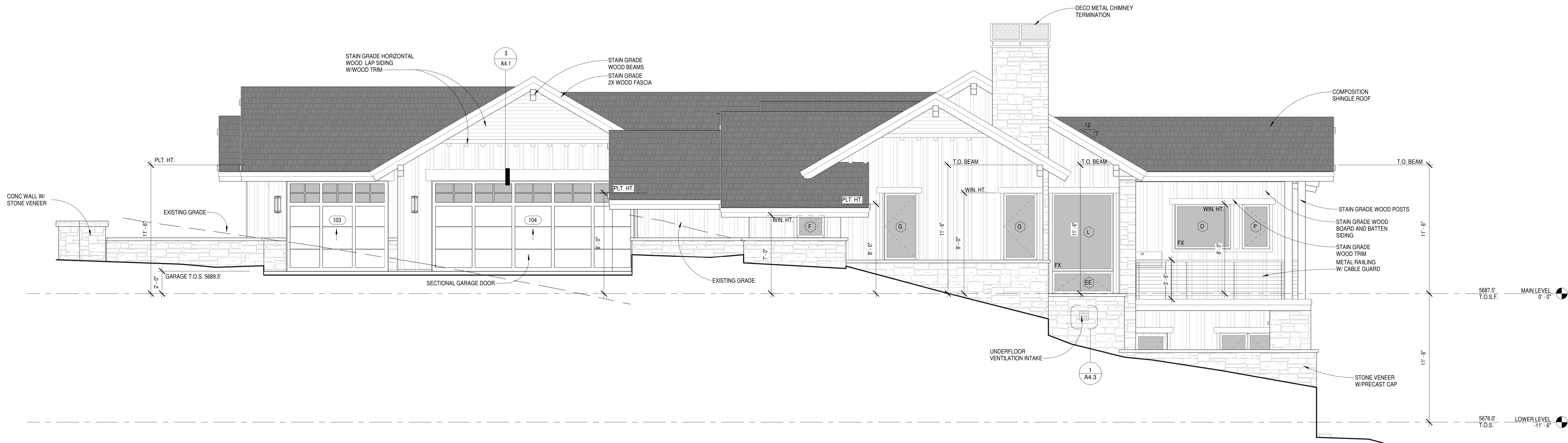
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

ELEVATION NOTES

- ROOFING SHALL BE: COMPOSITION SHINGLE, TYP.
PROVIDE ICE AND WATER SHIELD UNDERLAYMENT.
- INSTALL PRODUCT PER MANUFAC. SPECIFICATIONS AND PROVIDE ALL FLASHING AS REQUIRED. SEE COVER SHEET FOR ADDITIONAL INFO ON WILDFIRE ROMNTS. SEE PROJECT COLOR BOARD FOR PATTERN & COLOR.
- EXTERIOR FINISH SHALL BE: VERTICAL WOOD LAP SIDING.
PROVIDE UNDERLAYMENT PER MANUFACTURER'S SPECIFICATIONS. SEE PROJECT COLOR BOARD FOR SPECIES AND STAIN.
- EXTERIOR WINDOWS TO BE: ALUMINUM CLAD WOOD.
MANUFACTURER: TBD.
GLAZING: CLEAR DUAL PANE INSULATED, LOW-E.
- EXTERIOR FRENCH SLIDING DOORS TO BE:
MANUFACTURER: MATCH WINDOWS.
GLAZING: MATCH WINDOWS.
- STONE VENEER TO BE A FULL STONE VENEER APPLICATION PER DETAIL SET ON TOP OF FOUNDATION MASONRY LEDGE. SEE COLOR BOARD FOR STONE VENEER PATTERN AND COLOR.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE, PER CIVIL PLANS.



2 LEFT (WEST) ELEVATION

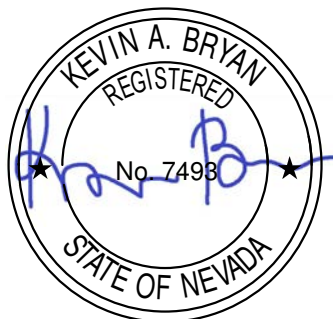


1 RIGHT (EAST) ELEVATION

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REVISIONS:

- 1
- 2
- 3



EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

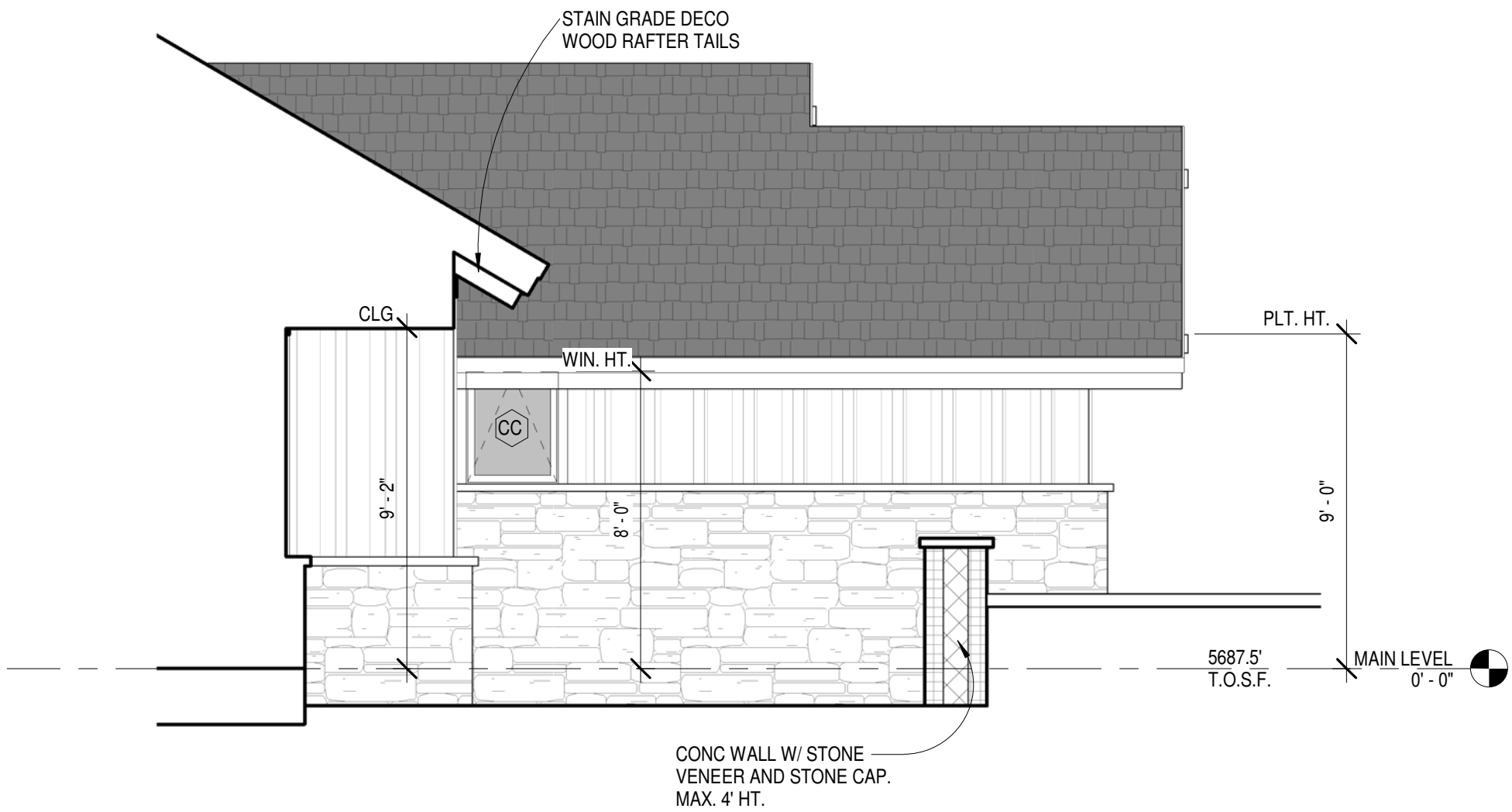
A3.2

STRATEGIC
PROPERTIES
GROUP, LLC.

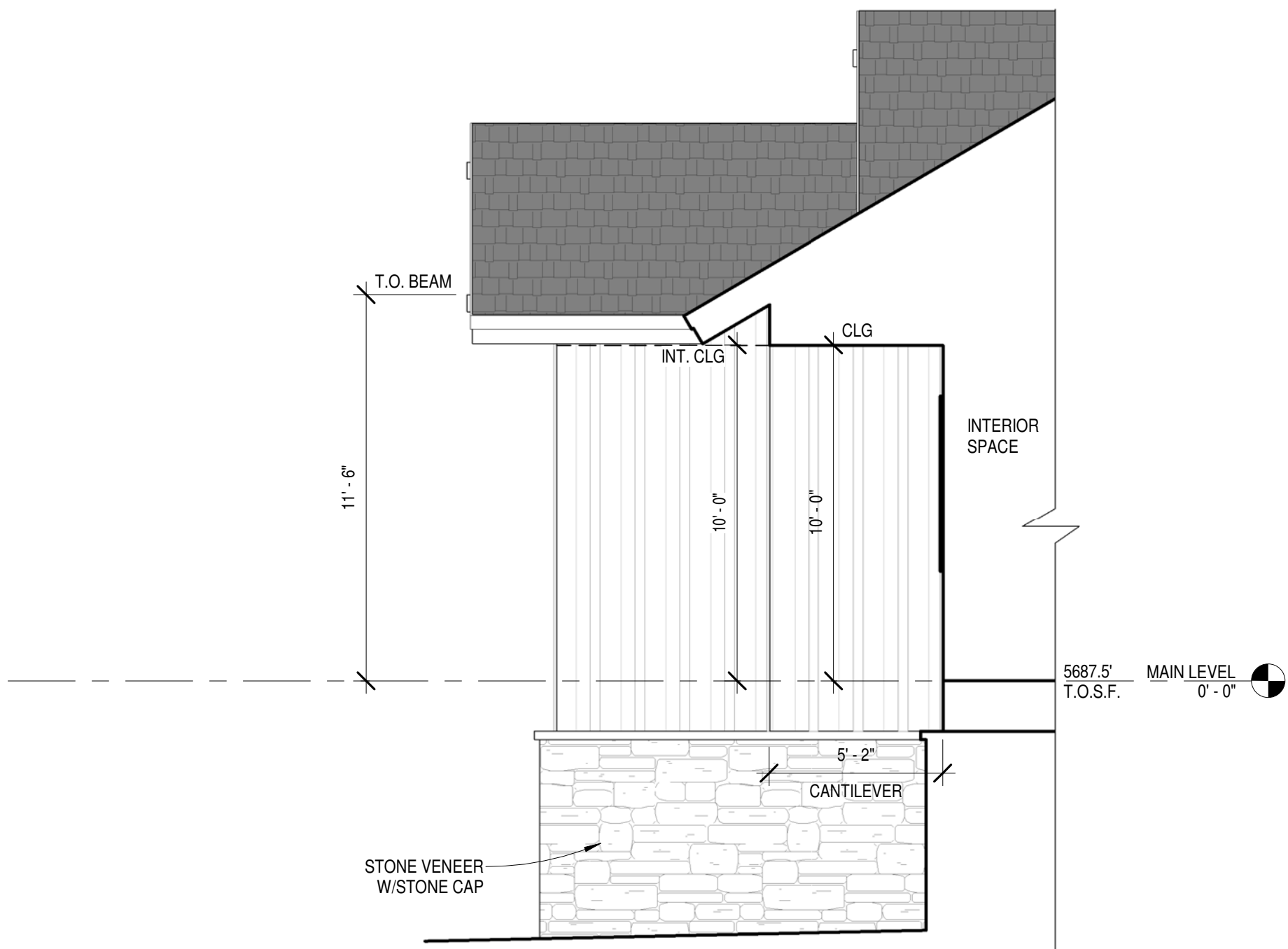
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

ELEVATION NOTES

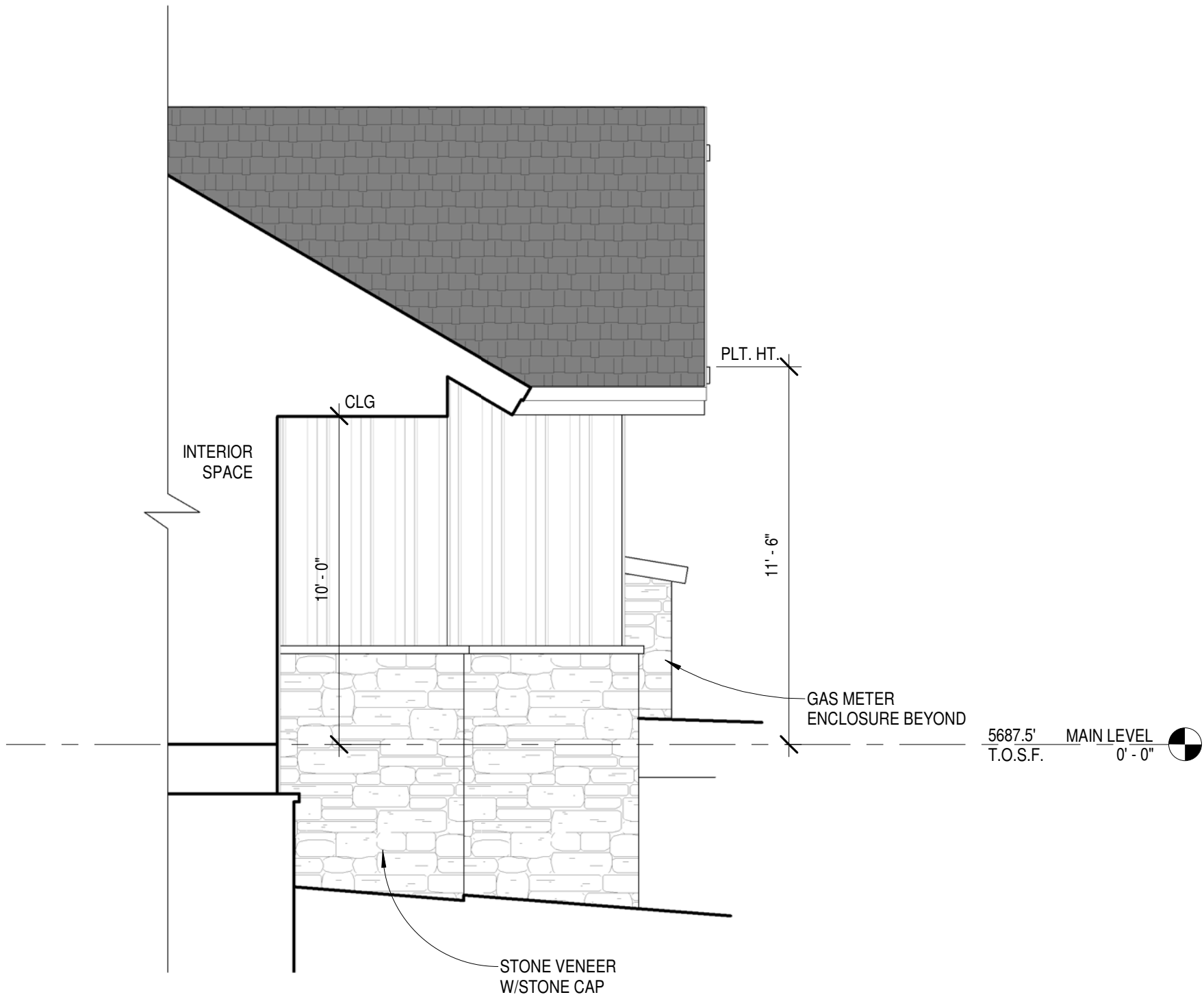
- ROOFING SHALL BE: COMPOSITION SHINGLE, TYP.
PROVIDE ICE AND WATER SHIELD UNDERLAYMENT.
- INSTALL PRODUCT PER MANUFAC. SPECIFICATIONS AND PROVIDE ALL FLASHING AS REQUIRED. SEE COVER SHEET FOR ADDITIONAL INFO ON WILDFIRE ROMNTS. SEE PROJECT COLOR BOARD FOR PATTERN & COLOR.
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- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE, PER CIVIL PLANS.



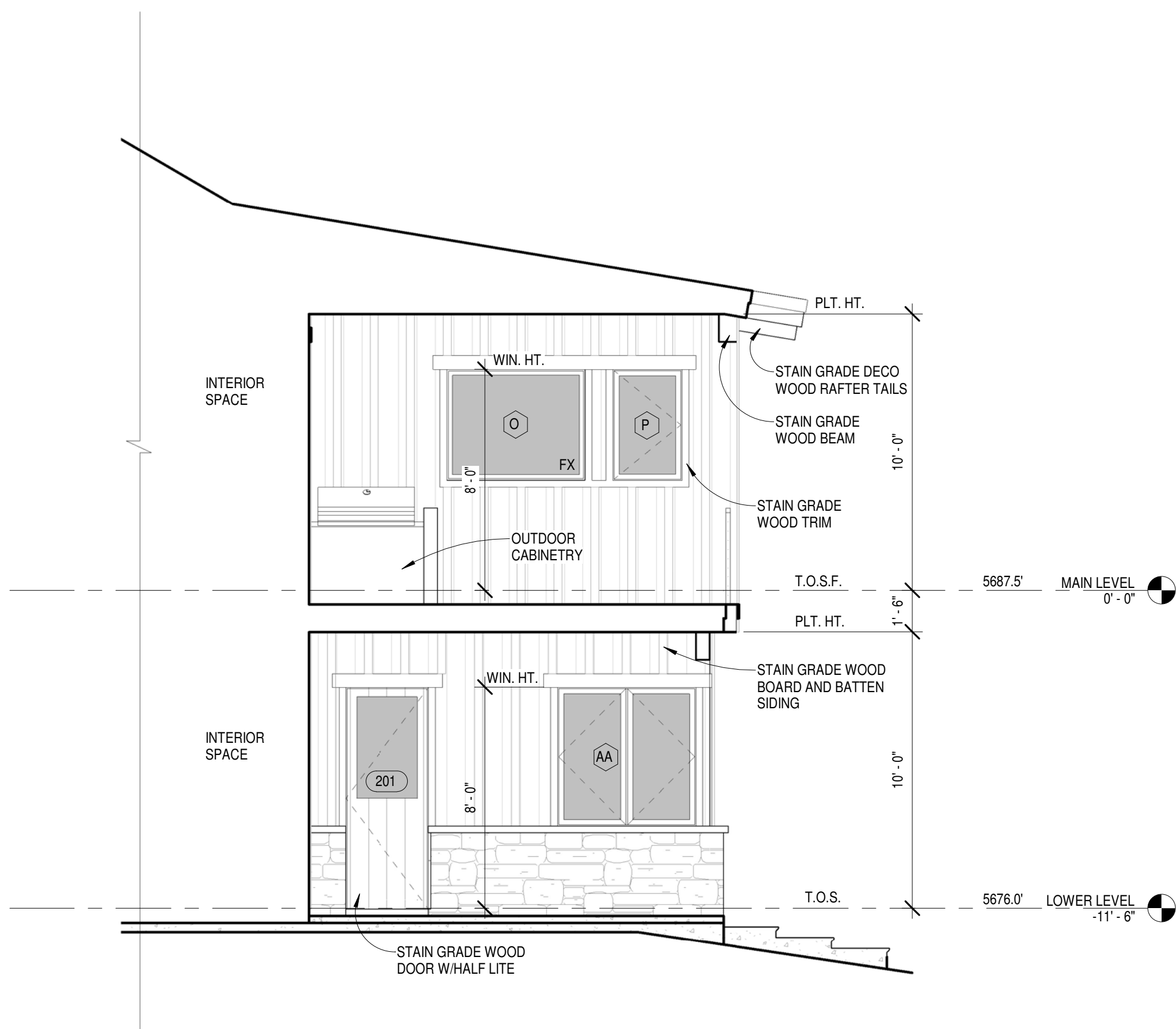
3 PARTIAL WEST ELEVATION



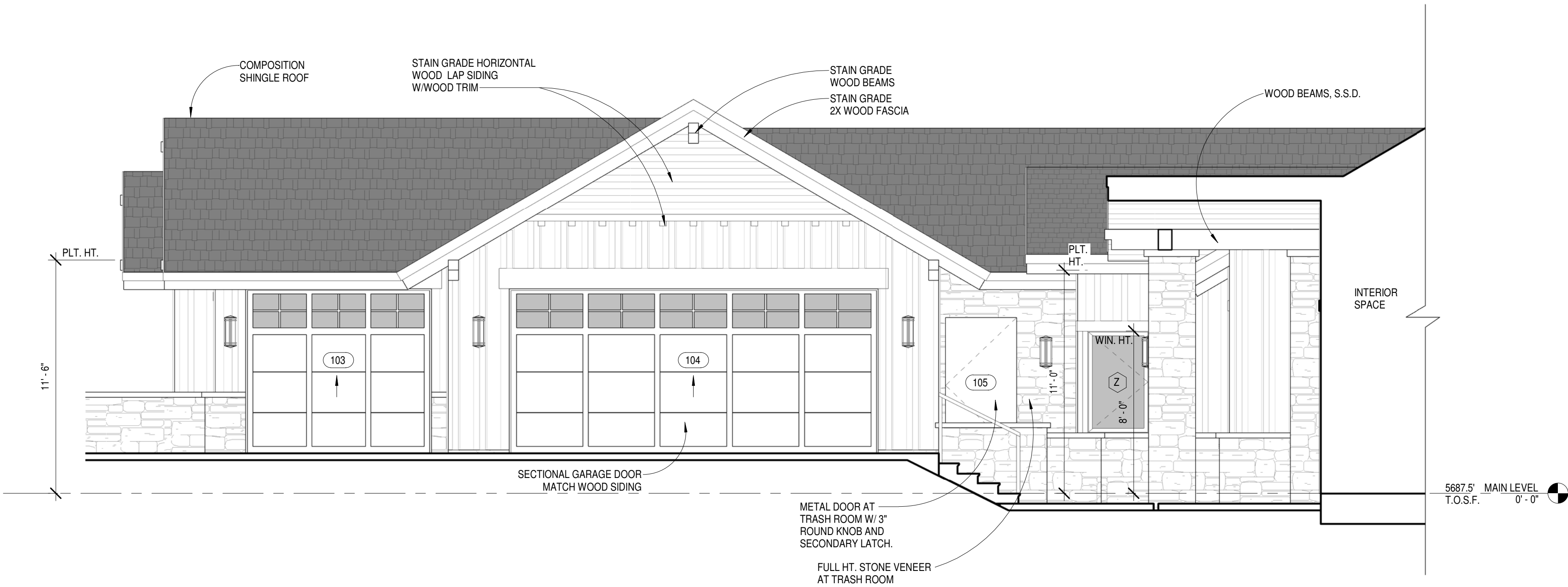
4 PARTIAL SOUTH ELEVATION



5 PARTIAL NORTH ELEVATION



1 PARTIAL EAST ELEVATION A

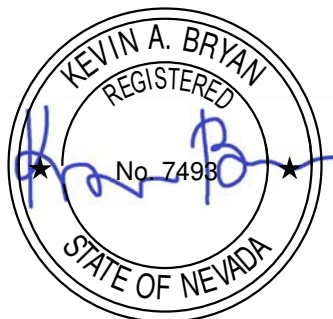


2 PARTIAL EAST ELEVATION B

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REVISIONS:

- 1.
- 2.
- 3.



PARTIAL EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

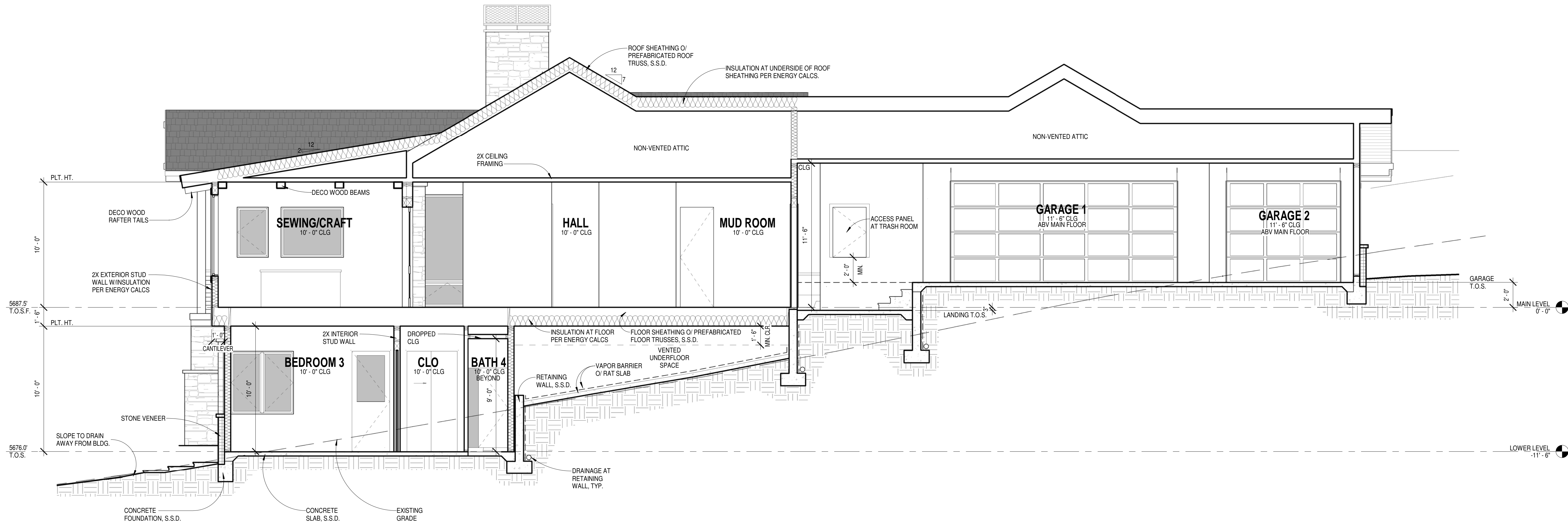
A3.3

STRATEGIC
PROPERTIES
GROUP, LLC.

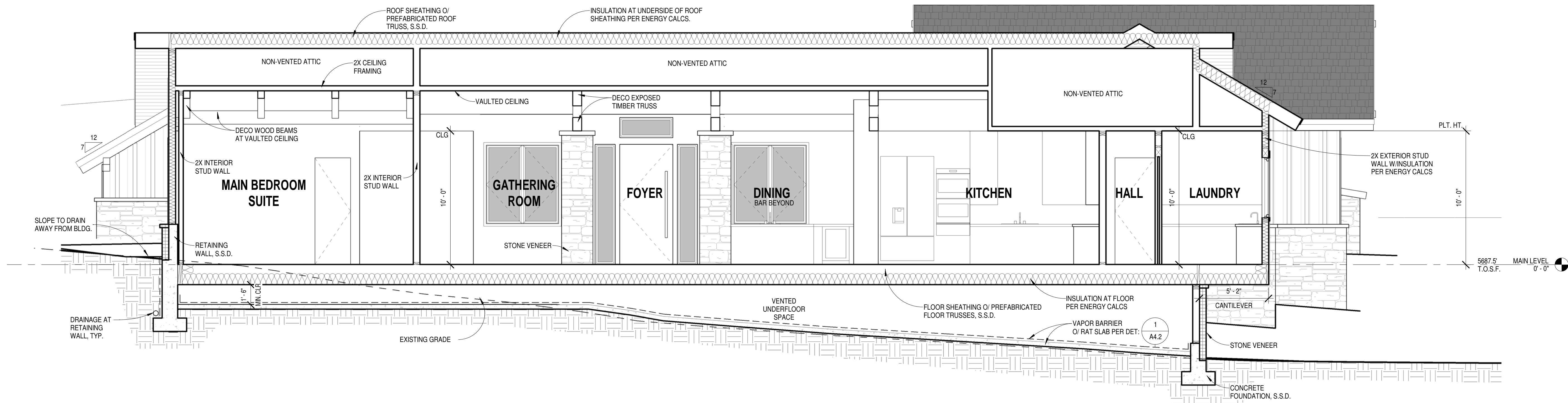
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

GENERAL NOTES:

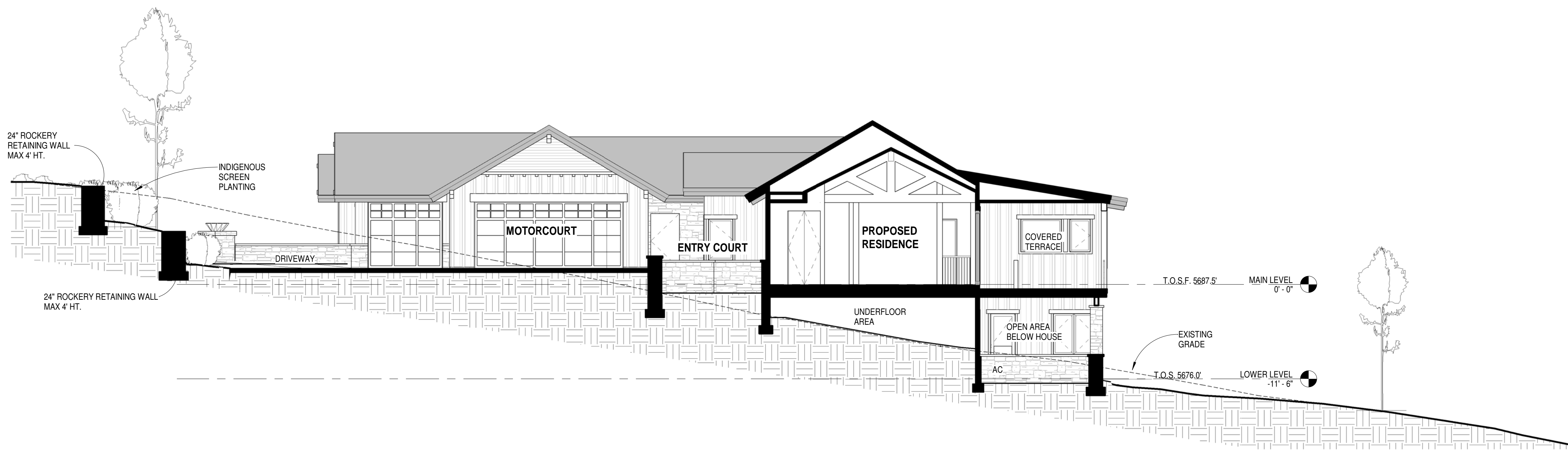
3 SECTION B 1/4" = 1' - 0"



2 SECTION A 1/4" = 1' - 0"



1 SITE SECTION 1/8" = 1' - 0"



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REVISIONS:

- 1.
- 2.
- 3.



SECTIONS

SCALE: As indicated

DATE: MAR. 29, 2024

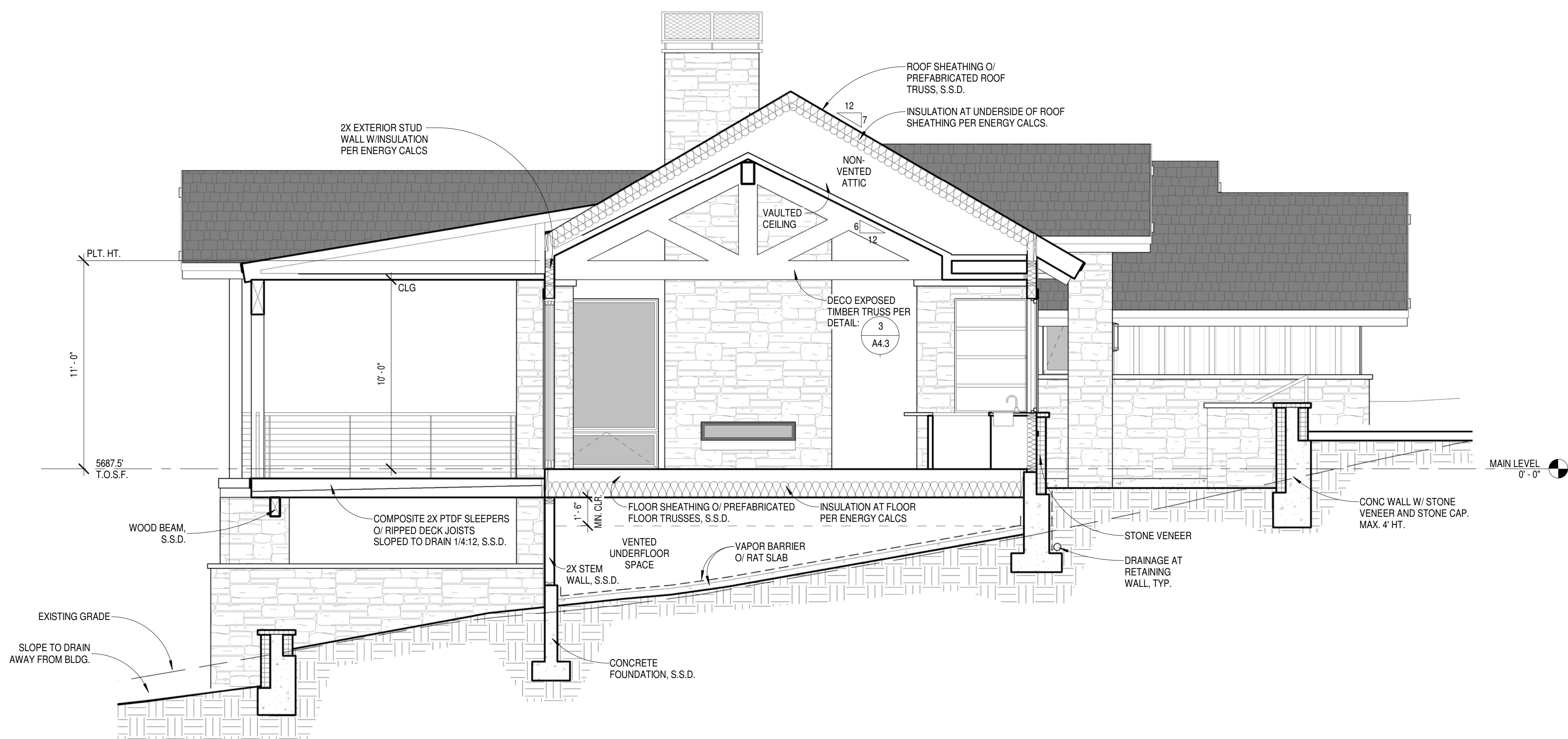
JOB: 21051

SHEET:

A3.4

STRATEGIC
PROPERTIES
GROUP, LLC.

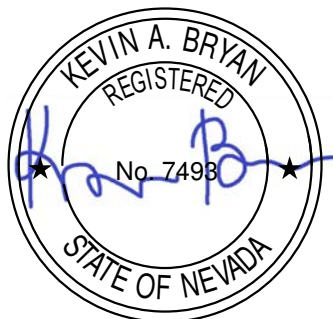
LOT 342 / C56, UNIT 2
CLEAR CREEK, NV



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REVISIONS:

- 1.
- 2.
- 3.



SECTIONS

SCALE: 1/4" = 1'-0"

DATE: MAR. 29, 2024

JOB: 21051

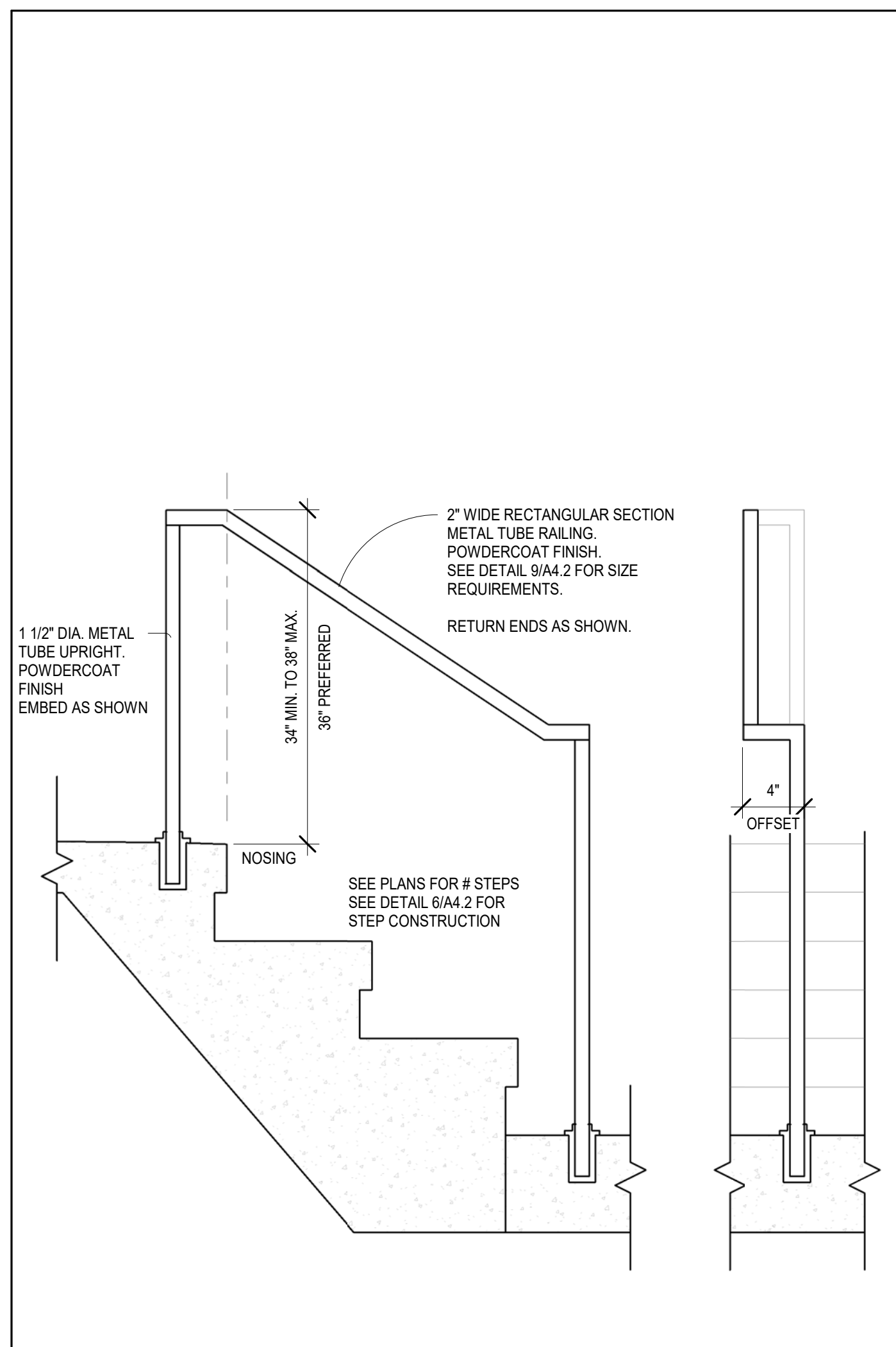
SHEET:

A3.5

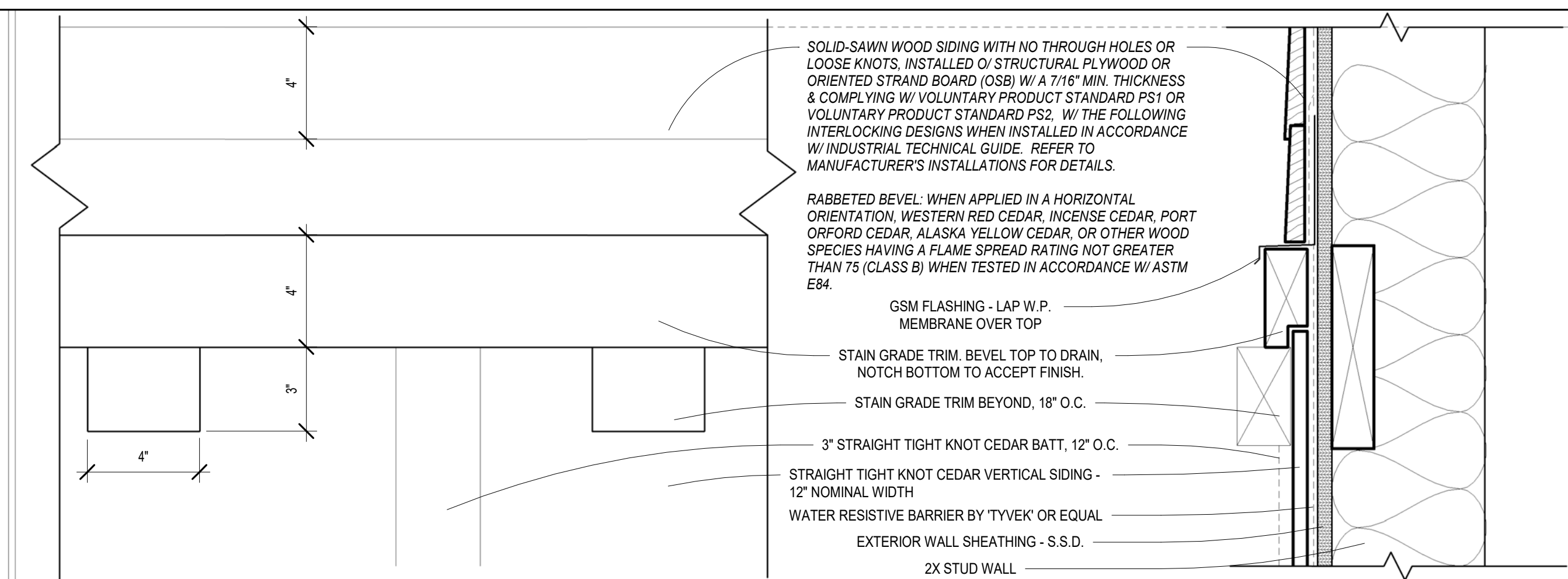
STRATEGIC PROPERTIES GROUP, LLC.

LOT 342 / C56, UNIT 2
CLEAR CREEK, NV

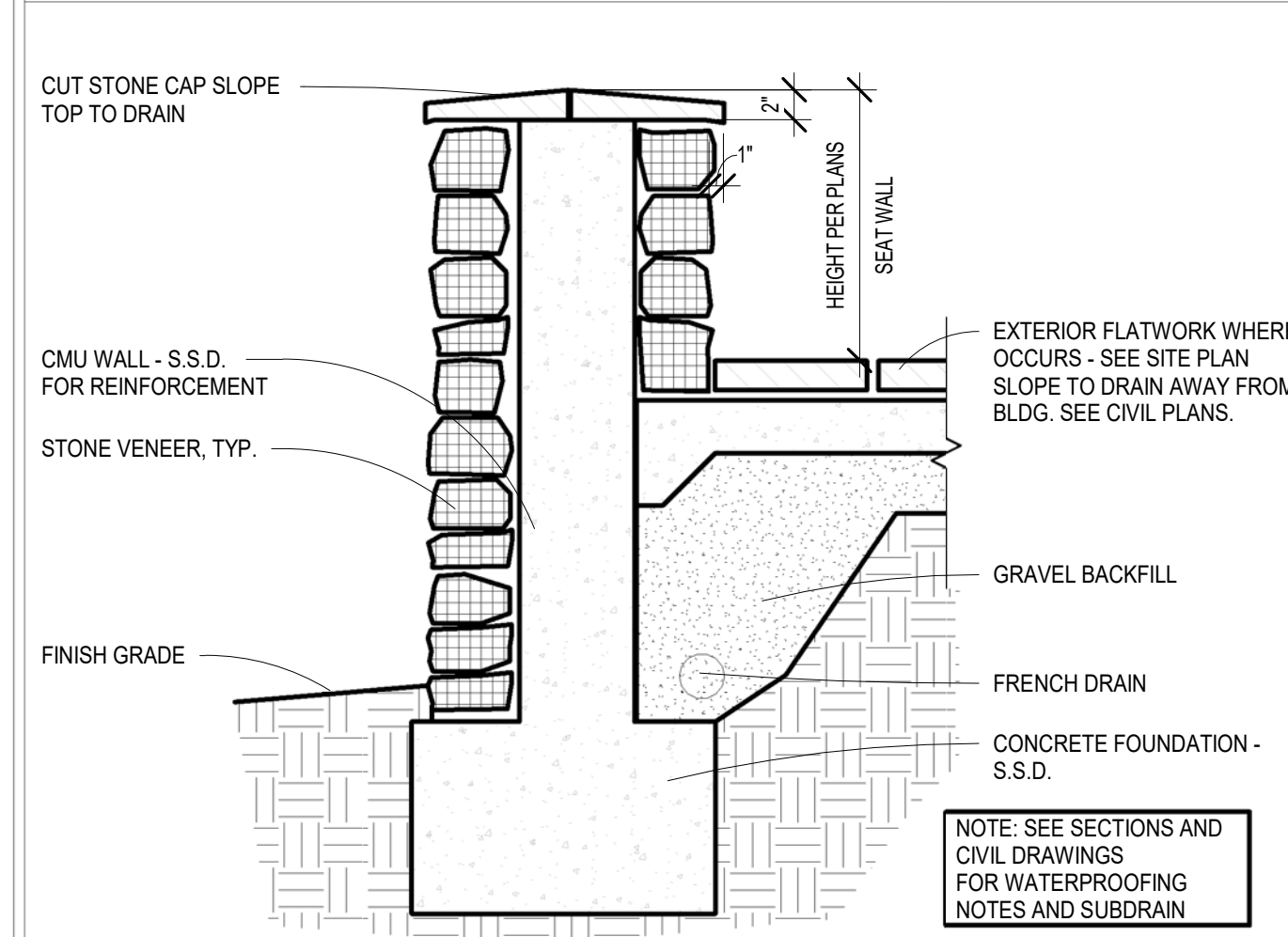
GENERAL NOTES:



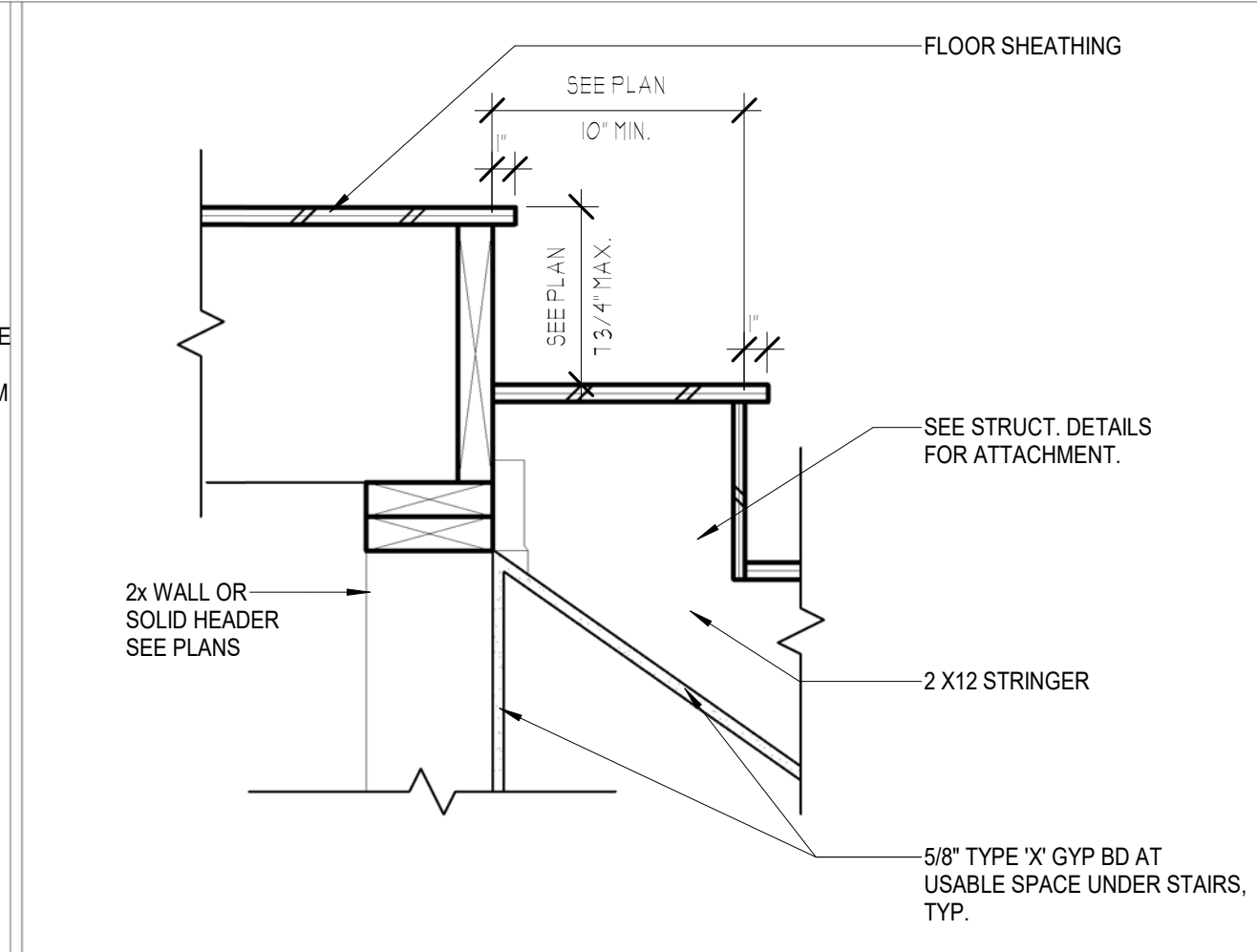
20 FREESTANDING HANDRAIL



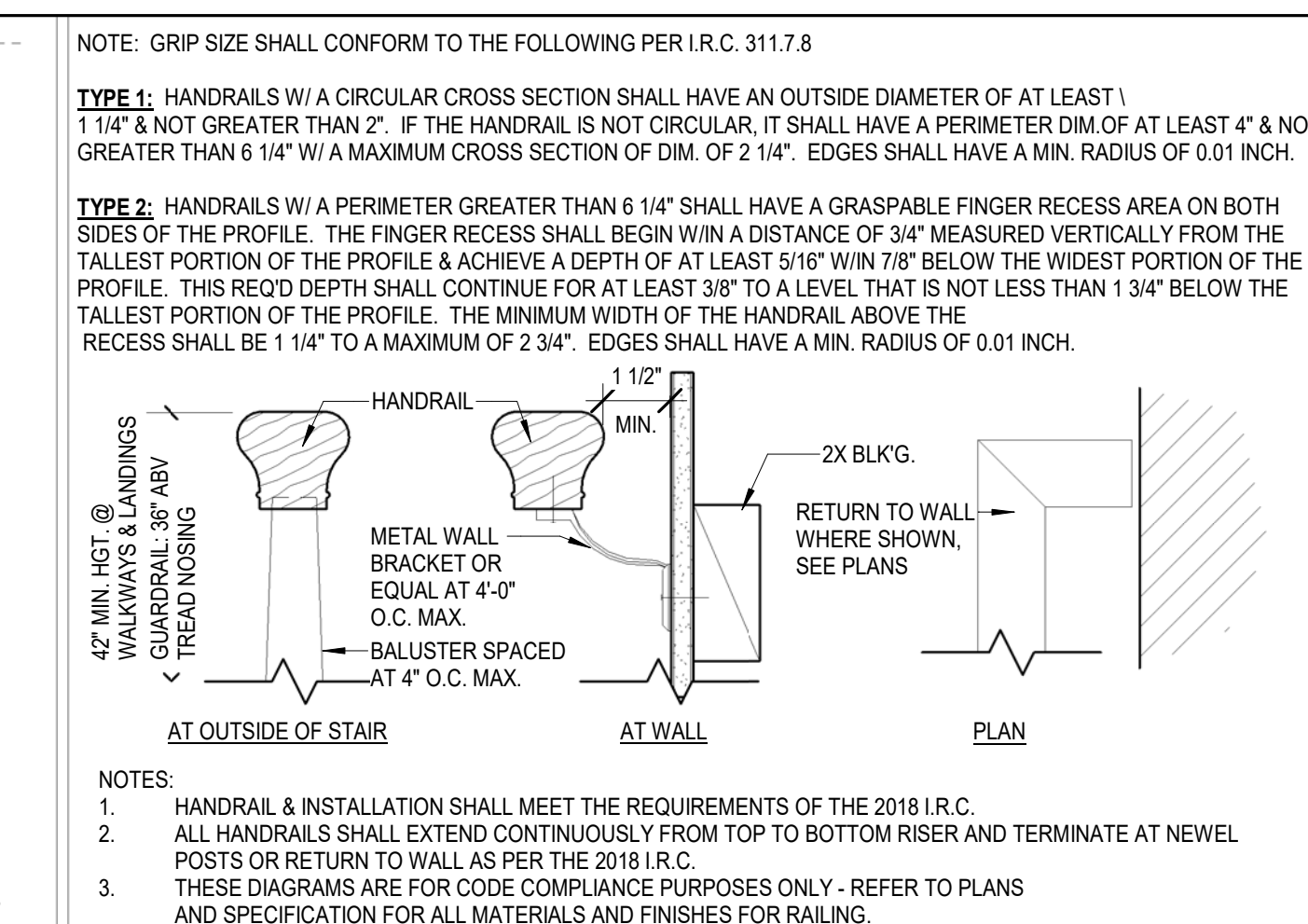
19 GABLE TRIM DETAIL, TYP.



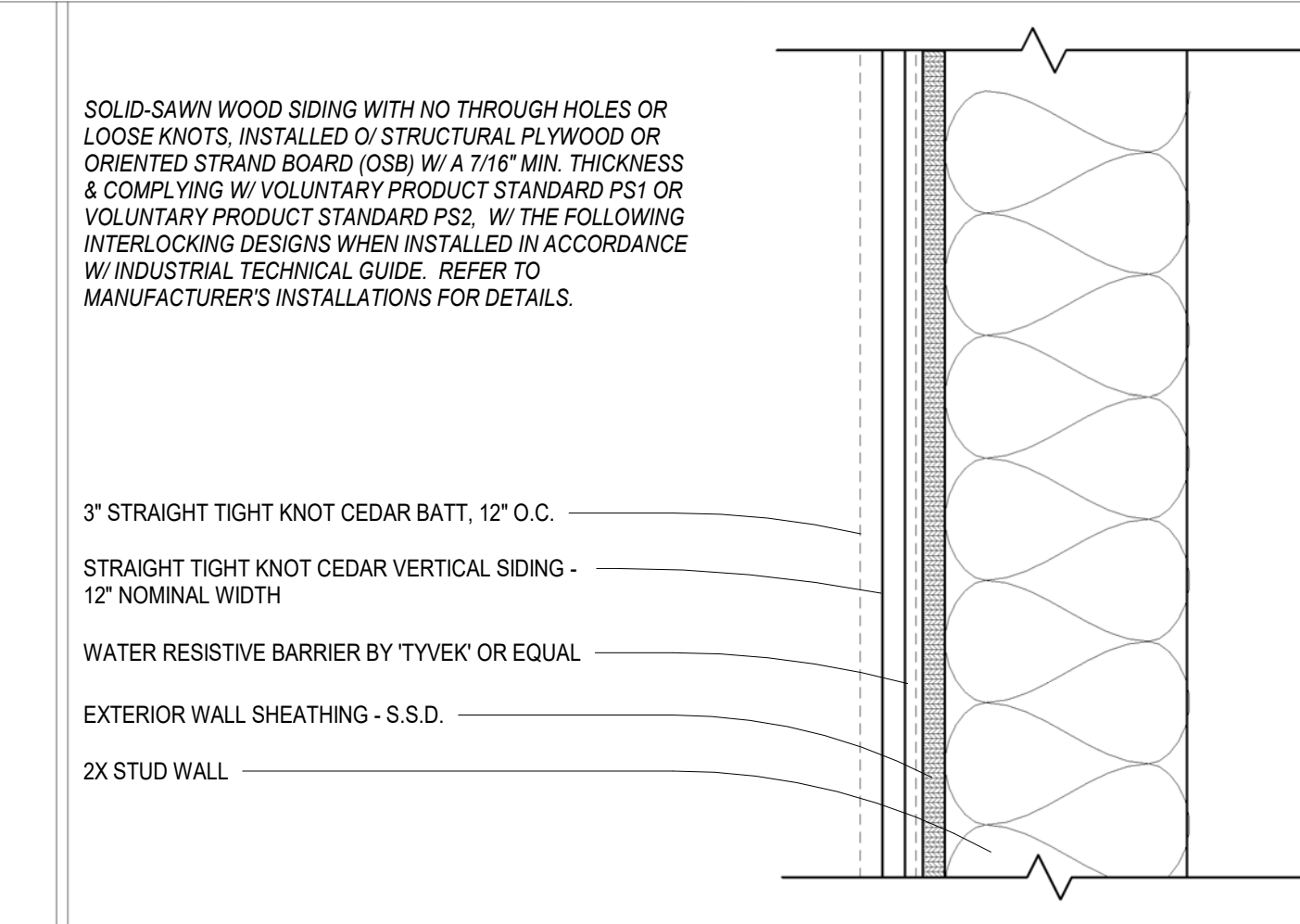
18 EXT. SITE WALL - RETAINING



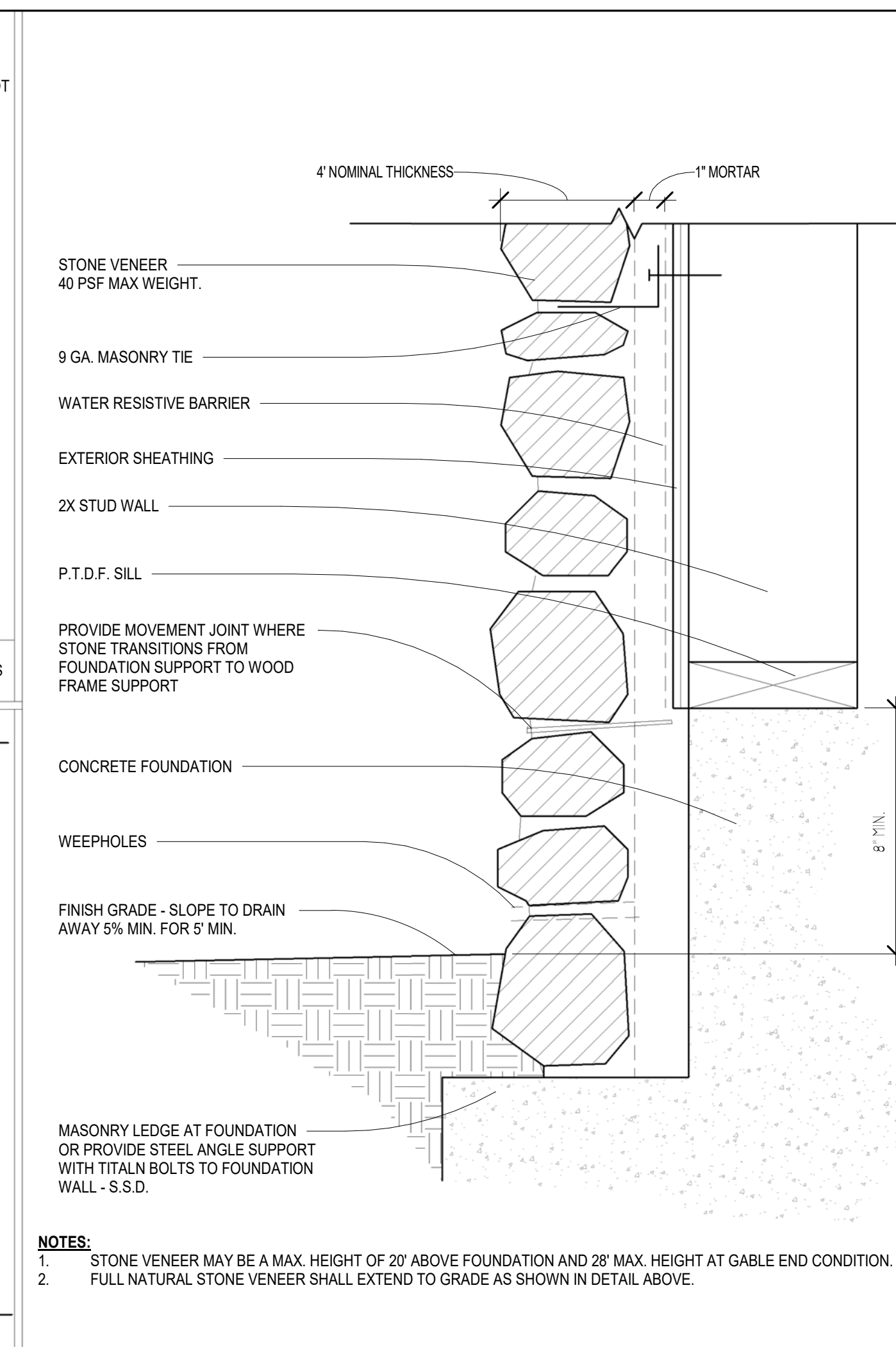
13 STAIR DETAIL - LANDING



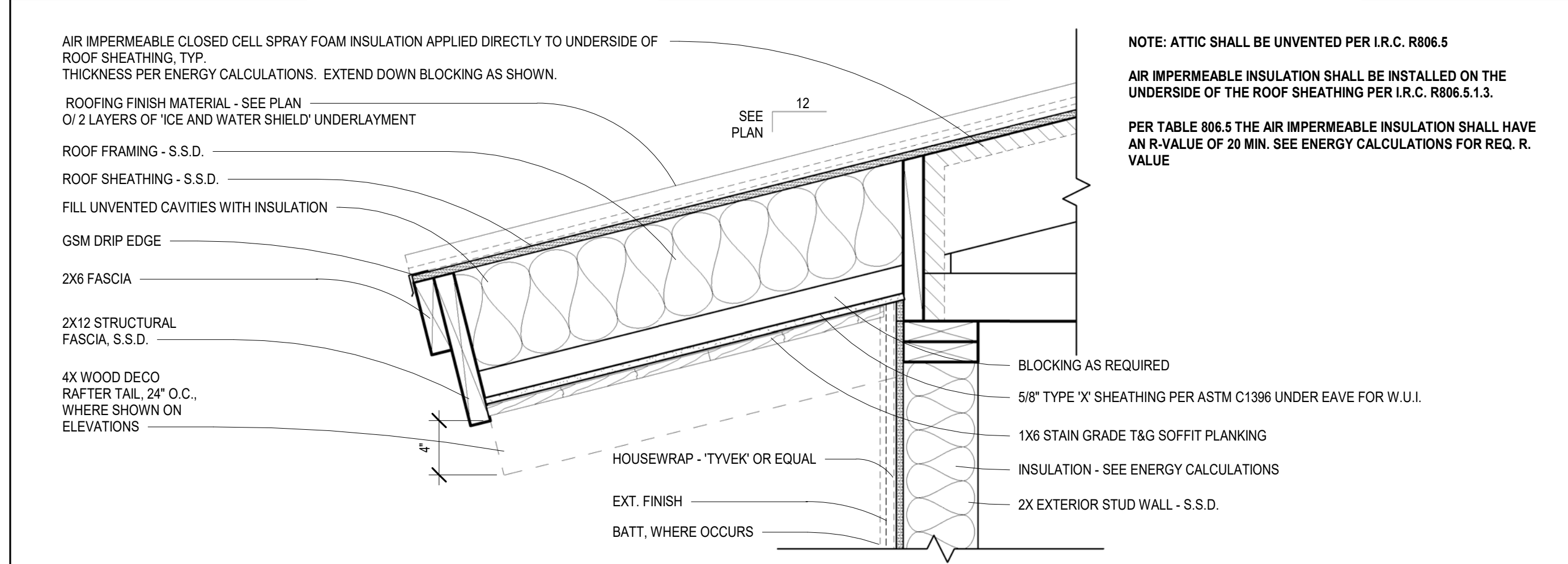
9 HANDRAIL/GUARDRAIL



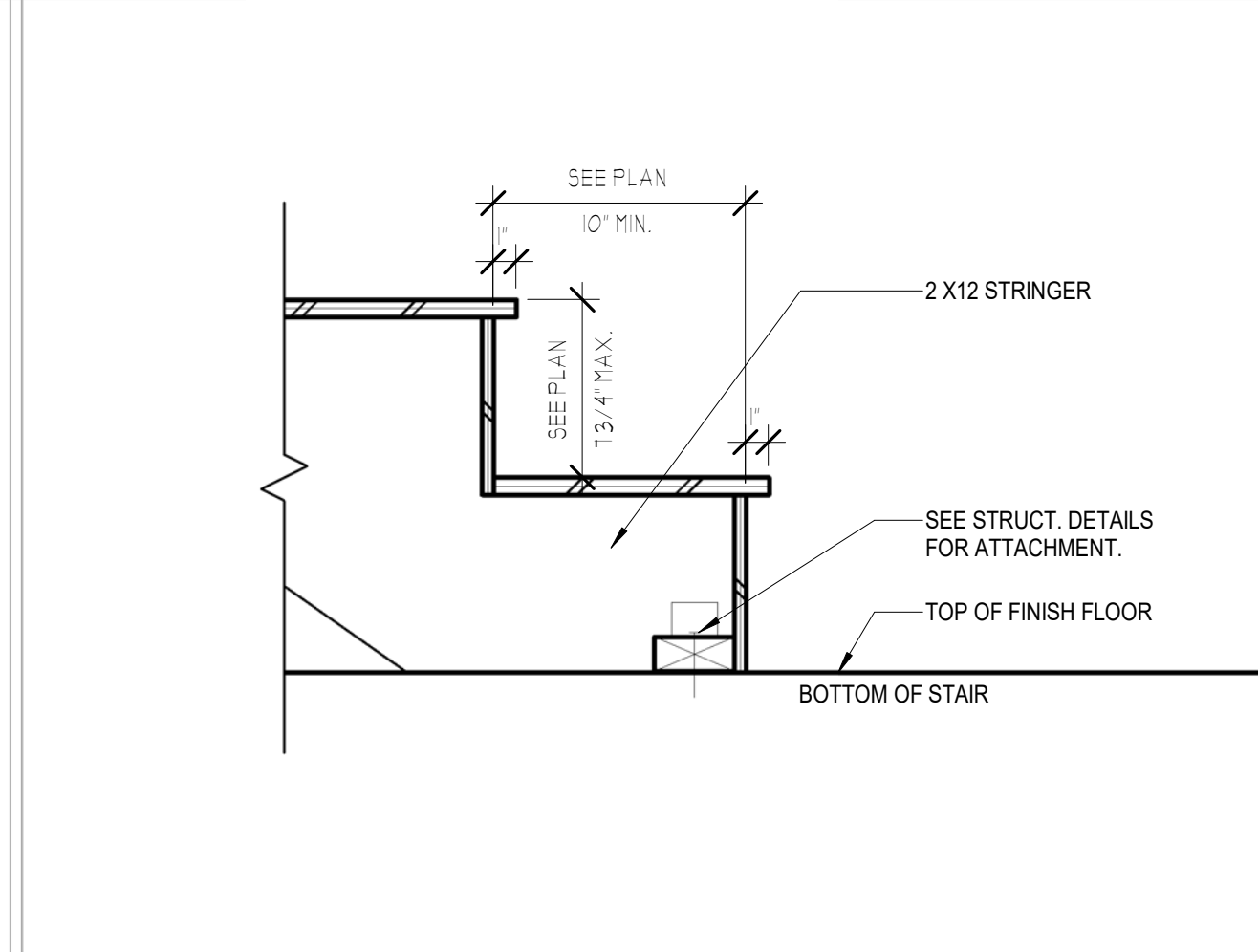
8 WOOD SIDING - BOARD AND BATT



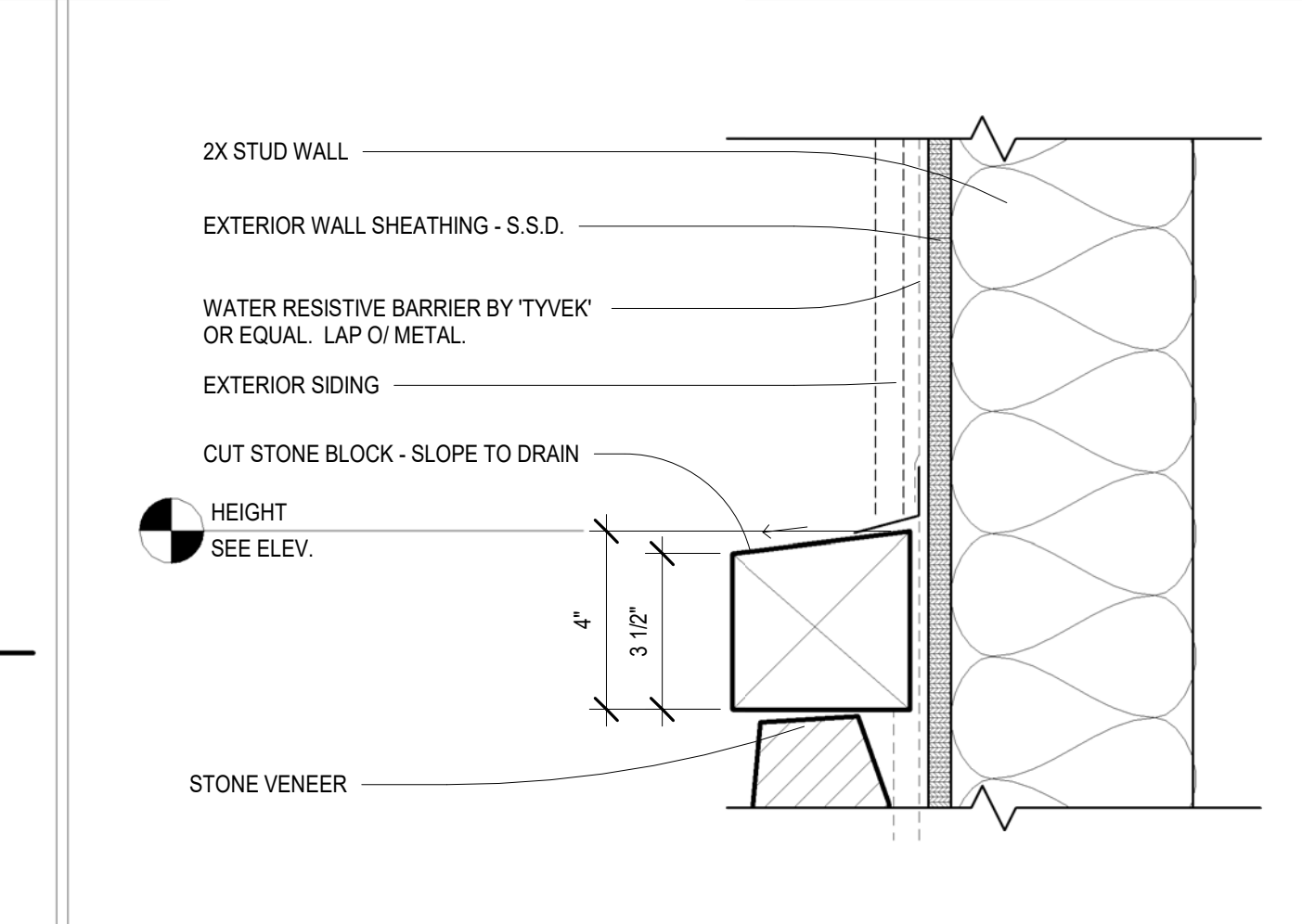
4 FULL STONE VENEER



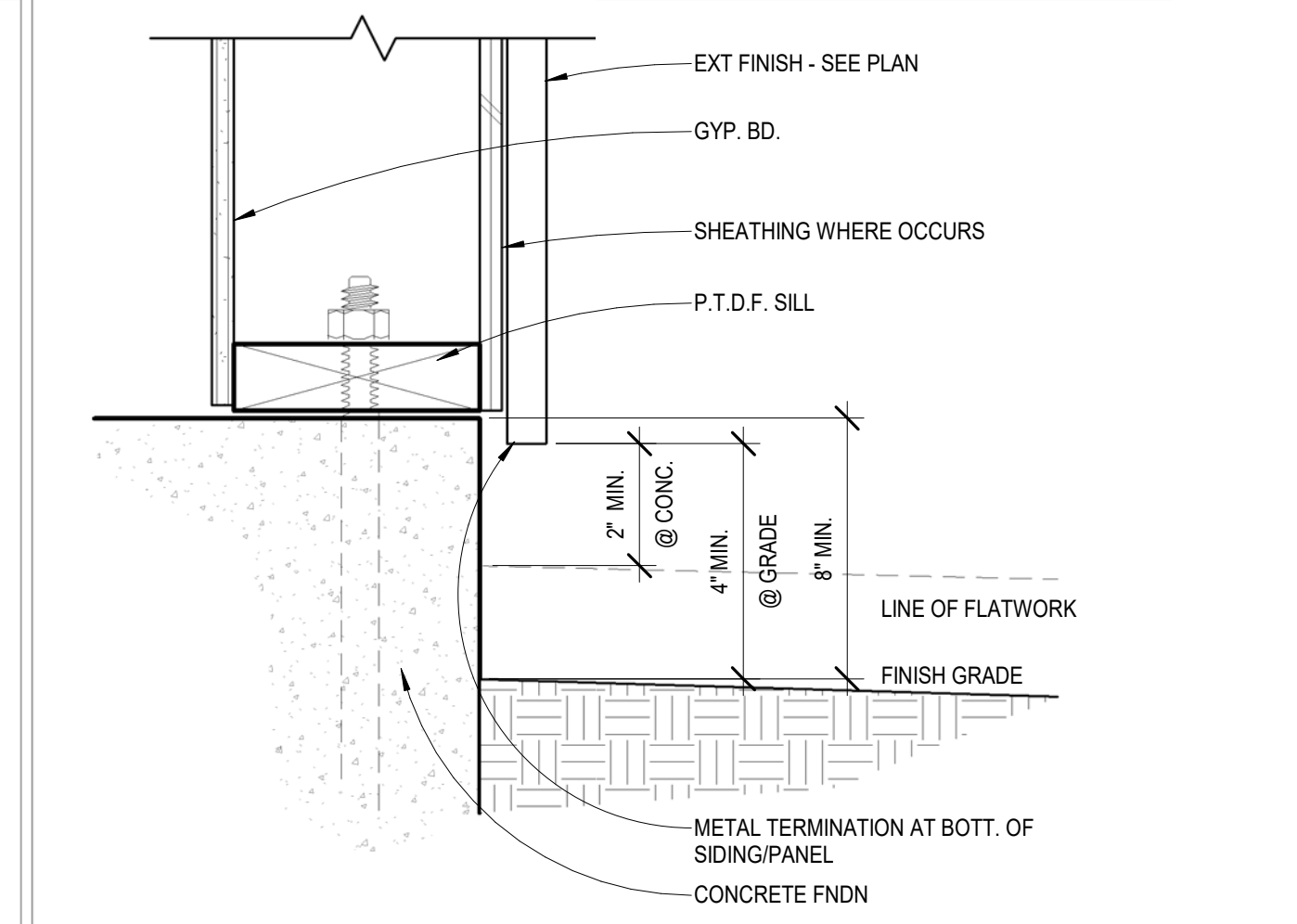
17 TYP. EAVE



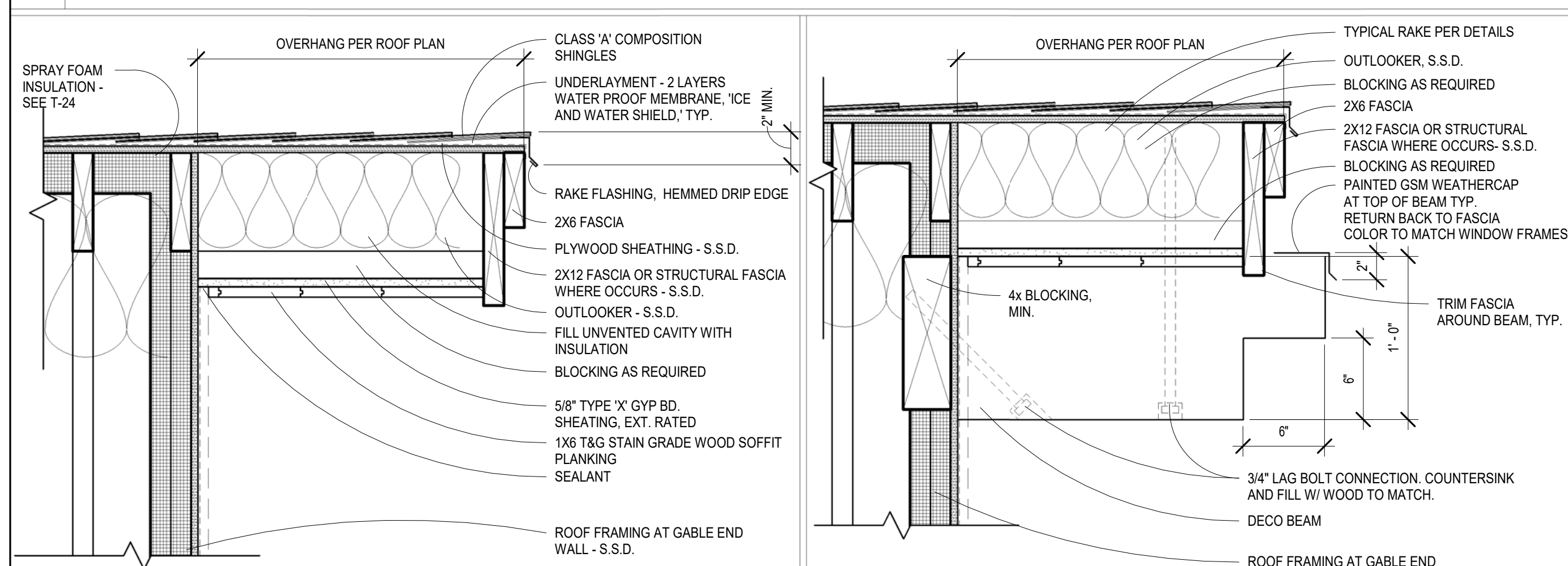
12 STAIR DETAIL



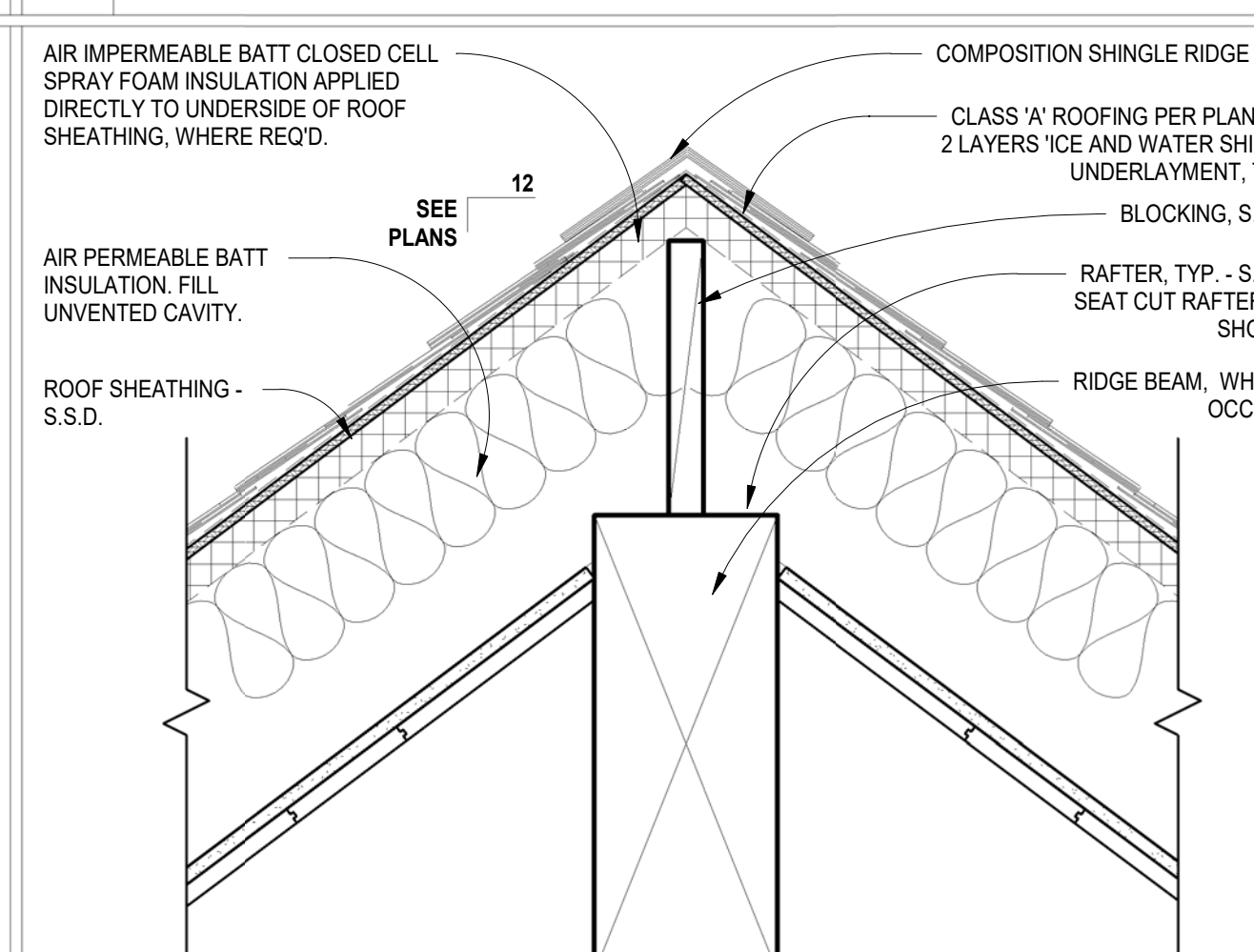
7 TRANSITION - STONE TO SIDING



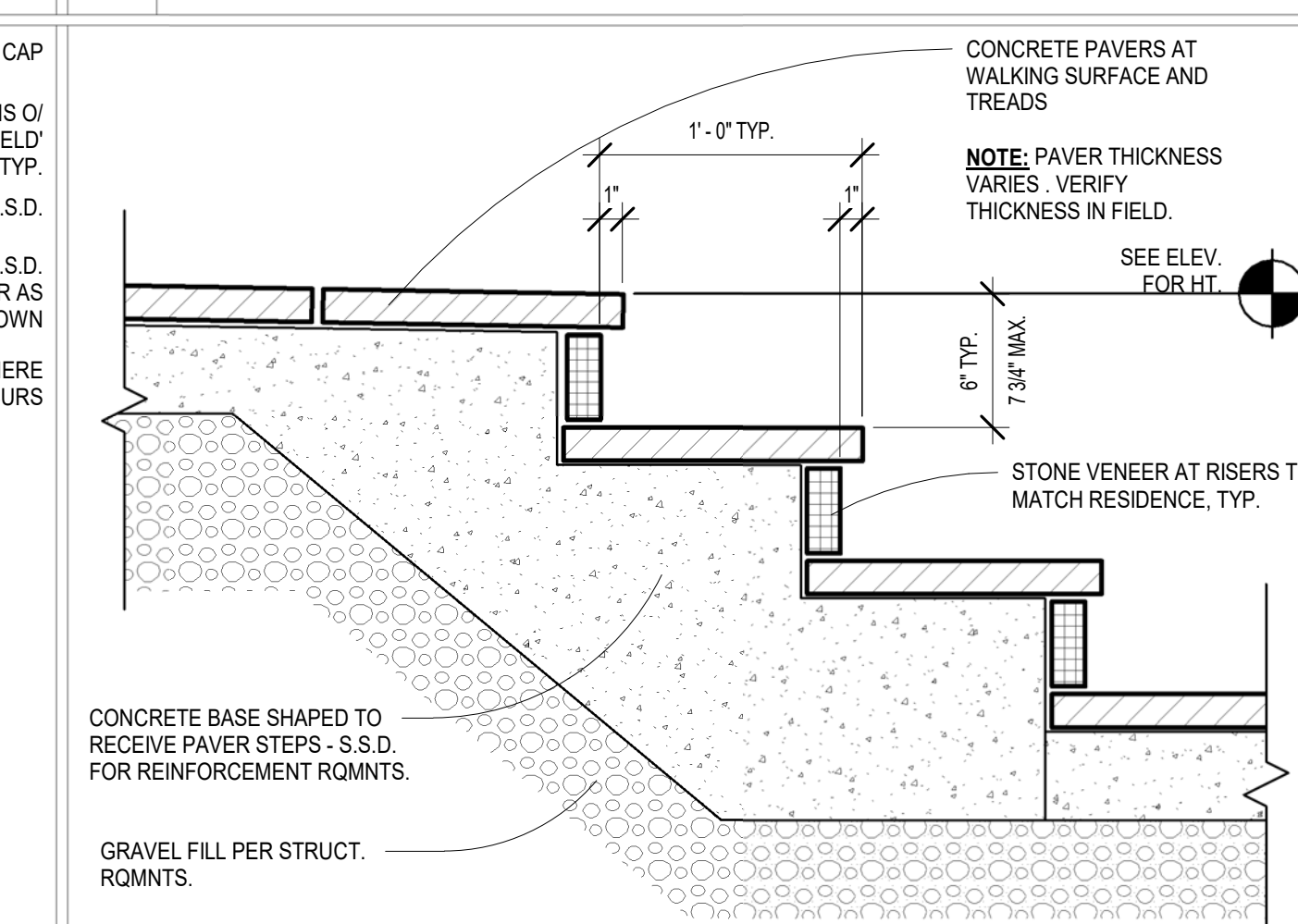
3 WALL AT BASE



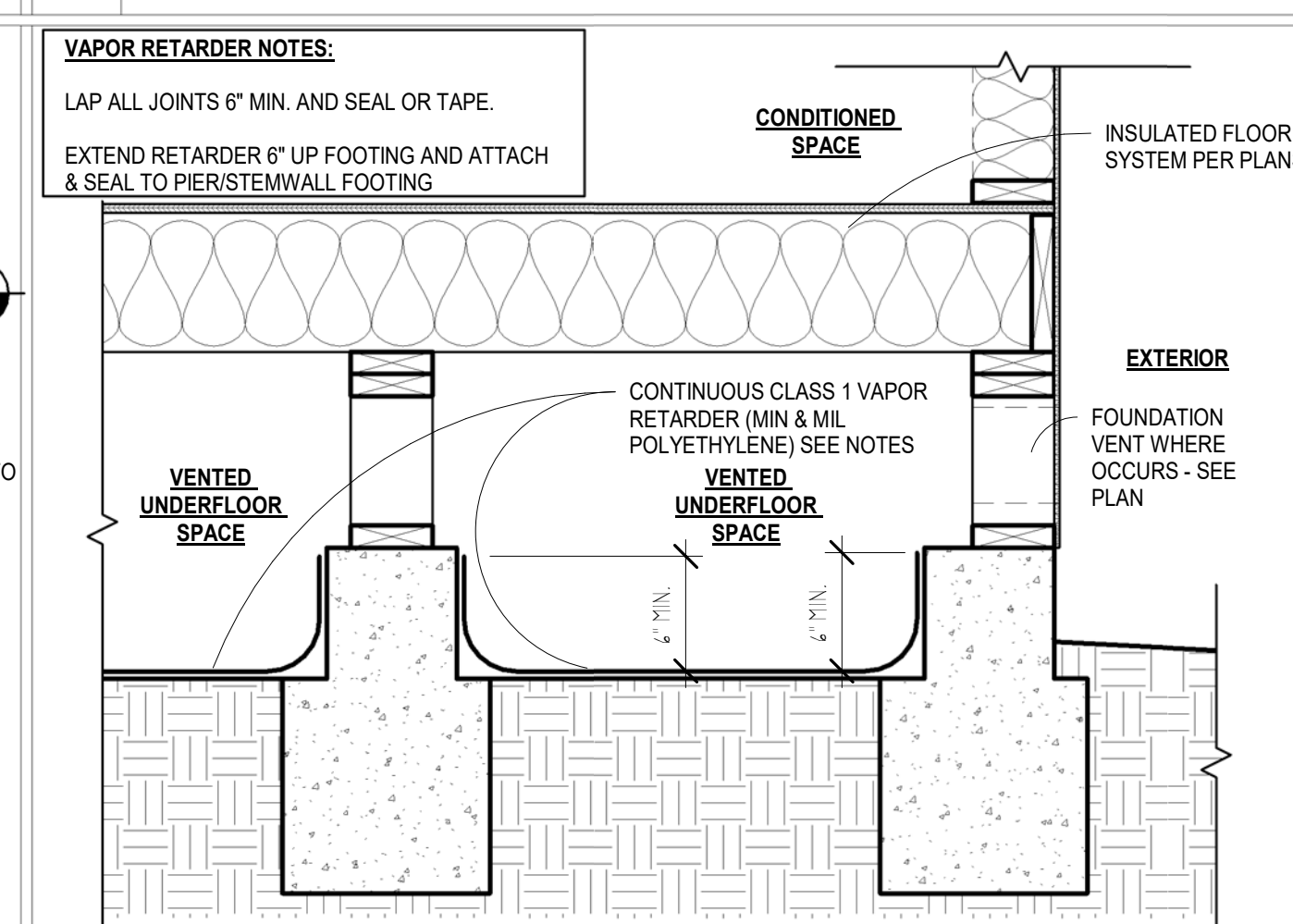
16 TYP. RAKE



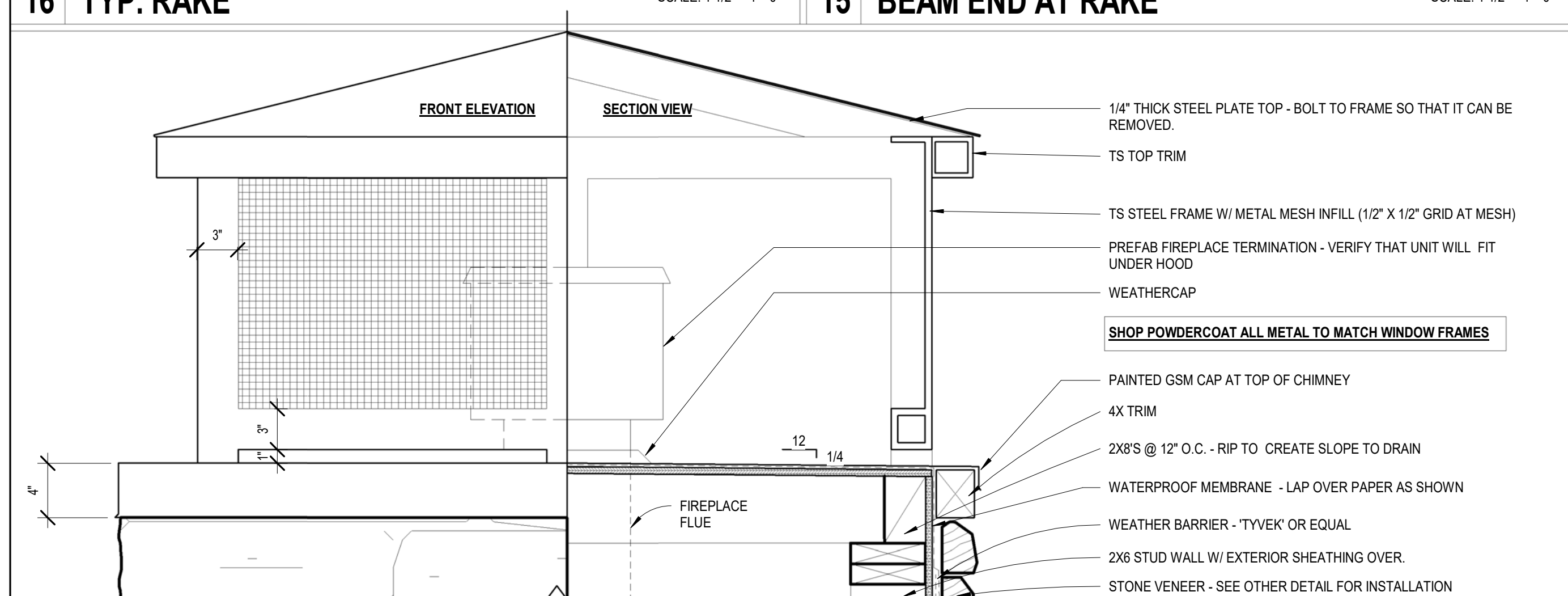
21 ROOF - TYP. RIDGE



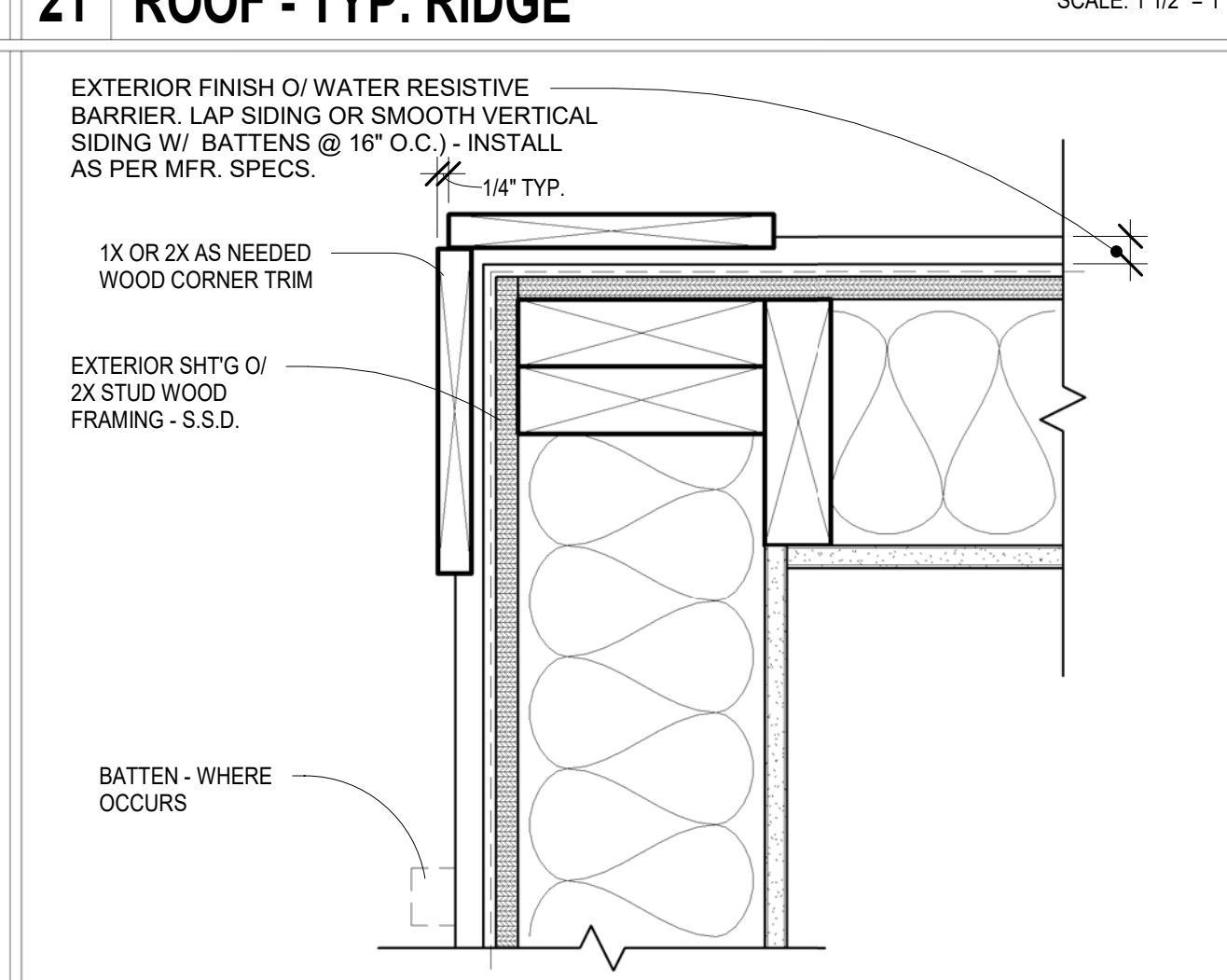
6 EXT. - STAIRS - PAVERS



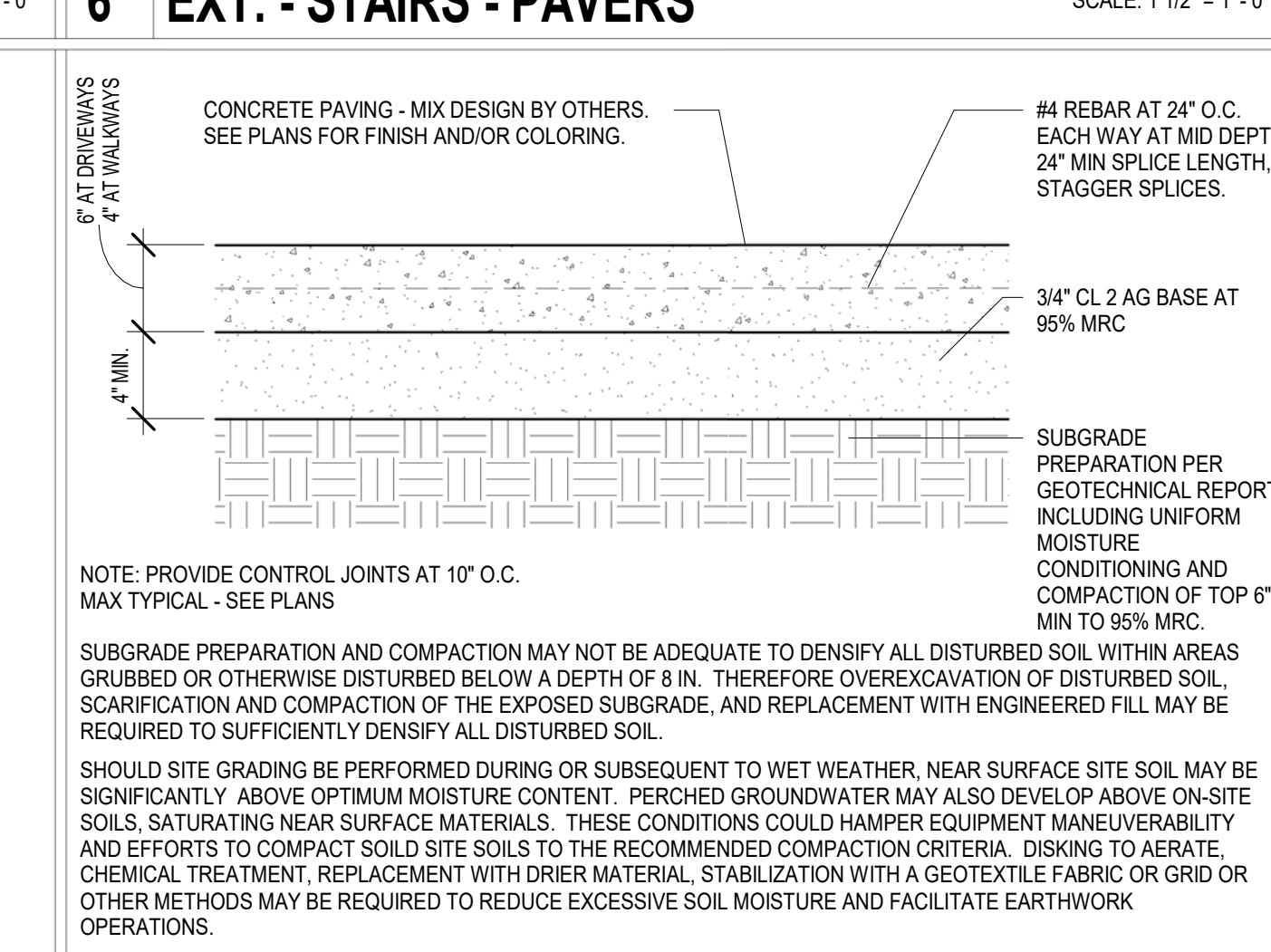
2 PERIMETER WALL



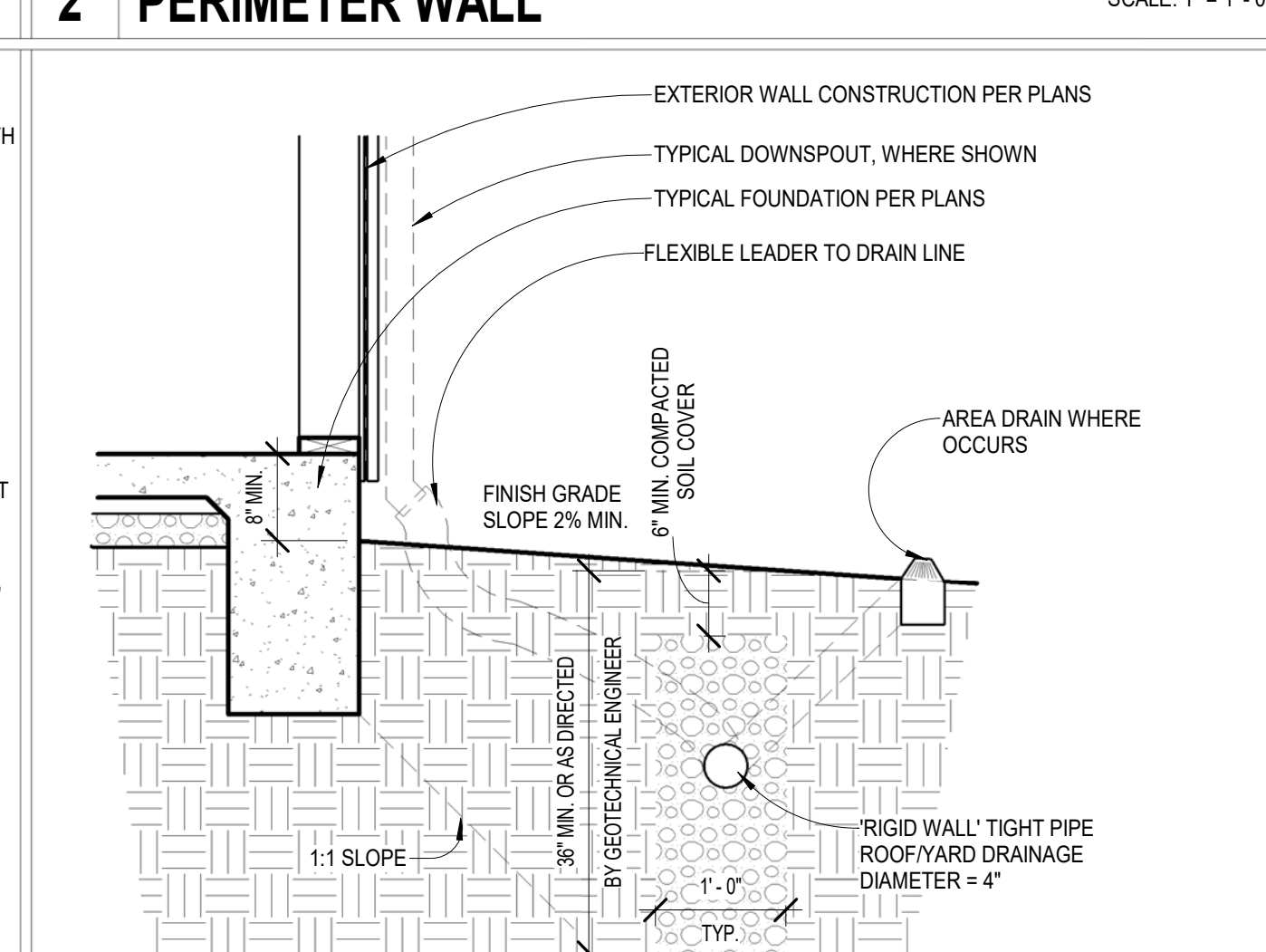
14 CHIMNEY CAP



10 TYP. AT OUTSIDE CORNER - TRIM



5 CONCRETE FLATWORK

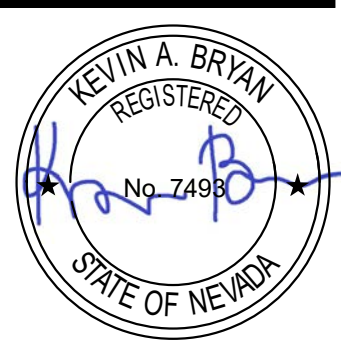


1 BUILDING PERIMETER

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REVISIONS:

- 1
- 2
- 3



DETAILS

SCALE: As indicated

DATE: MAR. 29, 2024

JOB: 21051

SHEET:

A4.2

